



GUIDELINES FOR SHIVAJI PARK HERITAGE PRECINCT

for
MMR-Heritage Conservation Society

Final Report
April 2014

Consultants

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1.0 INTRODUCTION

The Shivaji Park Heritage Precinct is one of the residential precincts listed during the process of preparing a fresh list of heritage structures in 2004. The process was undertaken by Mumbai Metropolitan Region Heritage Conservation Society (MMR-HCS) on the request of Mumbai Heritage Conservation Committee (MHCC). The revised list was to be prepared by a. examining the then existing list which was notified in 1995 and b. identifying additional structures and precincts of heritage importance, missed out in the earlier list. Both the heritage lists together include nearly 75 nos. of precincts (listed and proposed) in Greater Mumbai. Shivaji Park Precinct is one of the Precincts proposed in the Island City.

Definition of a Heritage Precinct

As per 'M.H.C.C. - Revised Heritage Regulations [DCR 67] for Conservation of Heritage Sites for Greater Mumbai' a heritage precinct is defined as follows: "A heritage precinct is an area of heritage value. It could consist of a number of buildings and spaces, such as streets, with cultural or heritage significance worth recognizing and conserving, or it could be an area where relationship between various elements create a special sense of place like mass, scale, building material, typology, roof profile and shapes or containing architectural style or elements. Precincts are of different importance and are made up of different type of elements such as houses, trees, commercial properties and public spaces combining to create a unique significance."

Thus, a set of common physical and social attributes associated with a location made of built and un-built environment are considered while making a list of Heritage Precincts. Further, these listed Precincts need to be conserved and protected to retain their special character.

A Precinct creates 'A Sense of Place'

Creation of 'a Sense of Place' is one of the most important attribute of a heritage precinct. This is created a) by a common built form and b) by a common history – cultural, political, economic. A built form is not just a cluster of buildings but includes features like streets, foliage of trees, water bodies, open spaces or any special feature or an icon of cultural significance. Even well-known personalities associated with the area contribute to the heritage significance. This array of tangible and intangible heritage attributes is evolved over a period of years by the collective energies of the local residents. A Sense of Place thus emerges out of a vibrant process. It then imparts a collective identity and a feeling of pride to the residents of the precinct.

Relationship of buildings with streets and vegetation in a Precinct

A street which is lined with trees creating a shaded avenue can bind the streets and the buildings together. The street widths between the two rows of buildings create a relationship and a scale between the roads, the buildings

and the residents. The street widths also have a bearing on the heights of the buildings and determine the number of floors. If the street is narrow the buildings in a precinct would be low rise. This will result in a comfortable relationship between the residents and their immediate environment. The trees of similar species and /or of similar heights or foliage give also a character to the precinct.

Creation of an Identity

The buildings of the precinct may not be identical or of high architectural merit. But the buildings would share some similar characteristics like the heights, mass / form, common architectural language created by features like roofs, balconies, design of railings, windows, skin articulations etc. A group of such buildings create a physical identity and social identity for the residents. A set of amenities like play grounds, gardens, gymnasias, clubs, community hall, associated with the precinct also create an identity.

2.0 SHIVAJI PARK HERITAGE PRECINCT

Shivaji Park precinct has all the attributes mentioned above. Briefly, Shivaji Park Heritage Precinct can be described as a set of nearly 200 residential buildings- predominantly two /three storied -built along the curved street patterns which in turn respond to the curved profile of the open ground known as Shivaji Park. The Shivaji Park ground which is one of the largest of the recreational open spaces in the city having a historical, political and cultural significance forms the nucleus of the heritage precinct as the entire planning is complementary to the Shivaji Park ground. Thus the development in the Shivaji Park Heritage Precinct refers to the cluster of buildings, roads and trees planned around the ground together with the common urban, political and cultural characteristics shared by the residents.

The precinct took its shape during the decade of 1930s on the lines of the earlier Suburban Schemes built to lure the middle class population to shift from the old parts of the city. It was named officially as ‘Shivaji Park Scheme- Mahim’. It should be noted that the Shivaji Park scheme was not created and owned by the Bombay City Improvement Trust as is commonly assumed. It was planned, executed and leased out by the Bombay Municipal Corporation.

The three major components which contribute towards its heritage significance are:

1. The history of urban planning in the city as reflected in the precinct’s built form;
2. Architectural character created with the new building materials and the associated visual vocabulary
3. Socio cultural identity of the precinct as it evolved over the last 75 years.

2.1 Urban Planning History: ‘Shivaji Park Scheme- Mahim’

The Lease document of the ‘Shivaji Park Scheme –Mahim’ mentions that ‘The Indenture’ is made between the Municipal Corporation of the City of Bombay and the ‘Lessee’ to whom the land is given on lease for 999 years on a yearly rent or for perpetuity with a lump sum amount¹. The scheme therefore was not executed by the Bombay City Improvement Trust, 1898 (BCIT/BIT), as it is commonly believed. The BCIT merged with the Bombay Municipal Corporation in 1933 in the specially formed Improvement Department. From 1933 onwards, planning activities were regulated by the BMC. The Shivaji park Scheme therefore it is under the control of Estates and Land Management department of BMC.

Although the Bombay City Improvement Trust (BCIT) was created specially after the epidemic of plague which badly hit the city, it was completely wrong in its assumption that the widespread epidemic of plague (post 1896) is caused by the ‘unsanitary’ conditions of in the congested areas of the city. By calling these areas as ‘slums’, BCIT

started its work by targeting the high density housing in the poorer localities of Nagpada, Agripada, Byculla etc. Further the BCIT undertook schemes to first demolish the congested localities and later to rebuild them. However the new constructions including the BIT chawls did not match the number of tenements which were demolishedⁱⁱ. The other three objectives of the Trust were to create wide roads/avenues in the east west direction with the hope that the westerly air will penetrate the localities of the inner city; to undertake reclamation of land from the sea; and lastly to set up 'suburbs' on the northern and eastern parts of the island city to address the need for more housing projects beyond the already populated southern part of the Island City.

For the purpose of this report, the BCIT's project of creating suburbs for housing the middle class is required to be examined. As mentioned above the Shivaji park scheme was not executed under the BCIT but under the BMC. But the BMC followed many guidelines which BCIT created while executing its suburban schemes of Dadar Matunga Sion. (BCIT scheme numbers V and VI). It needs to be noted that the *Dadar* of Dadar Matunga Sion is the location on east of the railway lines around the Khodadad Circle, south of Matunga Kings Circle and does not refer to Dadar West or Shivaji park area of present. The present Shivaji Park area was called the 'Middle Mahim' as seen in a map of the Island City drawn in 1897ⁱⁱⁱ. Adjoining are seen the dense coconut plantations known as the Mahim Woods.

The strategy for suburbanization was to acquire the agricultural land from the small villages existing in the areas inhabited by the local cultivators and communities under the Land Acquisition Act of 1894 and using them to create the planning schemes for the urban population. After the necessary land development, the streets were laid out to access the newly laid out plots along with the infrastructure of sewer lines, electrical lines etc. The reorganized plots were sometimes given to the same owners, or mostly acquired by monetary compensation, establishing a freehold and leased out to the middle class urban buyers for 999 years for constructing a building. The construction however was strictly as per the guidelines stipulated by the BCIT.

The suburban schemes were envisaged by the BCIT as garden suburbs on lines of British planning and accordingly gardens and boulevards were planned at the Five Gardens and Kings Circle around which the plots were arranged. The BCIT had also proposed to open out the Mahim Woods by acquiring the land of the coconut plantations to enhance the environment of the Dadar Matunga Sion by allowing the air flow from western sea front towards the east of the railway line. However the ratepayers of the Mahim Woods opposed on the ground that the income from the coconut trees far exceeded the compensation offered under the Land Acquisition Act^{iv}. It was only in 1925 that the Shivaji Park play ground was made near the Mahim Woods and the planning scheme around the park commenced around 1933. Although it was not easy for the middle class, to leave behind the community life in the chawls of the older city like Girgaon , Bhuleswar etc. the upper middle class could build 'self contained flats' in the Ground +2 storeys after taking over the plot on a perpetual lease. The newly discovered Reinforced

Cement Concrete (RCC) construction was much cheaper than the traditional construction and the Lessee could then earn regular income from the flats which were rented out to the tenants of his/her choice^v.

2.2 Precinct characteristics of the built form in Shivaji Park

The scheme commenced with first laying out the streets in 3 to 4 rows, to respond to the curvatures of Shivaji Park ground, in the concentric pattern. The shorter streets intersecting the primary curved streets were planned in a radial geometry. The plots were laid out within the curved segments emerging out of the complimentary street patterns on which G+2 buildings were constructed. Buildings on the street junctions would respond to the curvature of the junctions and in the articulation of the skin of the buildings. This established a cohesive connection with the Park. In order to attain a precinct identity, the Lessees in the Shivaji Park scheme had to follow certain guidelines for the construction of the building similar to the ones prescribed by the BCIT in the Dadar Matunga Sion scheme. Some of Controls with respect to the construction and the usage were:

- Extent of footprints within the individual plots.

- Maximum height controlled by the maximum number of floors

- Marginal open spaces from the compound wall

- Height and design of the compound wall

- Design of sun shades

- Usage of the premises

- Maintenance and repairs of specific materials

Such guidelines achieved three objectives in the planning schemes:

1. to ensure a certain quality of life for the residents with adequate light and ventilation through the open space between the buildings (unlike the tenement/chawl housing in the inner city)
2. to impart a certain cohesive spatial environment for the residents with a low rise development along the streets which created shaded avenues
3. to maintain a certain density of population by restricting the building heights to ground + 2 floors
4. provision of physical infrastructure and social amenities catering to the envisioned density of population

Apart from the imposed guidelines, the architectural language followed by the architects to design these buildings created a visual identity for the precinct. The use of Reinforced Cement Concrete (RCC) for construction allowed the flexibility in the built form in the use of flat roofs and terraces, cantilevers and shapes other than perpendiculars. The Art Deco style of architectural articulation by then had been used extensively for the RCC multistoried buildings constructed in the affluent parts of south Bombay. Many of the buildings in Shivaji Park precinct liberally used features associated with the Art Deco, creating a common vocabulary with features like

curved balconies, typical railings for balcony parapet walls, continuous chajjas and plaster bands, motifs, grooves, etc. *(see drawings and photographs in the later part of the report)*

On the whole therefore the Shivaji Park scheme exhibits both:

- A. Similarity of scale and proportion in the respective foot prints, in the heights of the buildings and in their relationships with the widths of the abutting streets.
- B. Multiplicity of the exterior articulations on the buildings, selected from a set of elements associated with Art Deco language of architecture.
- C. A Green cover with trees along both the edges of the streets creating shaded avenues throughout the precinct.

2.3 Cultural significance of Shivaji Park precinct

The Shivaji Park ground which is the focus of the precinct was called the 'Mahim Park' when it was made in 1925. In 1927 it was named as 'Shivaji Park' on the occasion of the birth tri-centenary of the warrior king Shivaji on the suggestion of a Gandhian freedom fighter and BMC corporatre Avantikabai Gokhale. In the early part of the 20th century, Shivaji Park ground and the adjoining area was close to a stretch of coconut orchard known as Mahim Woods. The ground is of historical and cultural value because of the political and social gatherings it has witnessed, both in pre- and post-independence Bombay. It was the focal point of the linguistic struggle for the state of Maharashtra popularly known as the Samyukta Maharashtra movement. In fact most of the important post independence political meetings have used the Shivaji Park to mobilize the middle class Marathi speaking population of the city. It is the home of Indian cricket and has played an important role in producing internationally acclaimed cricketers.

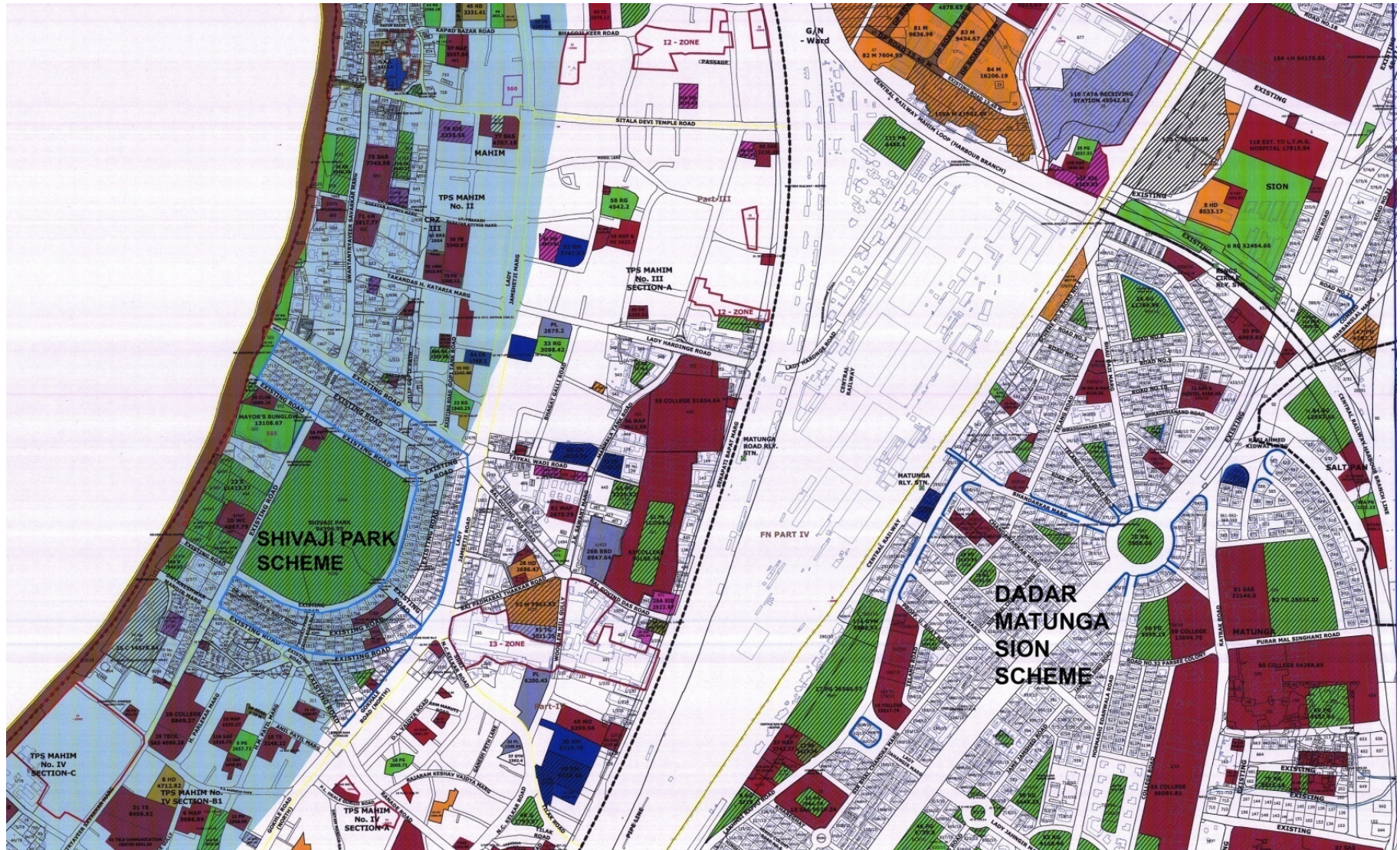
The precinct is associated with a number of well-known personalities from many walks of life - freedom-fighter Damodar Vinayak Savarkar; eminent author, politician, filmmaker, journalist Acharya Prahlad Keshav Atre; reformists like Prabodhankar Thackeray; educationists S.L. Dhargalkar and Dadasaheb Rege; City Engineer Narayan Modak; eminent persons from the world of music - Pandit Jasraj, Kesarbai Kerkar, C. Ramchandra, Vasant Desai and Sudhir Phadke; architects D R Chowdhari and Suryakant D Chowdhari of the famous firm Gregson Batley and King Architects; Film producers like Sadashiv Rao Kavi, and Actors like Shanta Apte.

The social infrastructure catering to the Shivaji Park residents and to the larger neighbourhood consists of gymnasiums, community clubs, community halls, a women's activity centre, municipal swimming pool and an auditorium. The low wall along the shaded edge of Shivaji Park called the 'katta' is a well known popular public social place which imparts a human scale to connect the precinct to the otherwise a city level ground.

Shivaji Park and Shivaji Park Precinct



Shivaji Park Precinct and Dadar Matunga Sion Suburban Schemes seen in the D.P. Sheet



General Character of the Precinct.



General Character of the Precinct.



General Character of the Precinct.



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3.0 CONDITION DOCUMENTATION

3.1 Methodology

3.2 Parameters for inspection of buildings

3.3 Documentation in tabular form

3.0 CONDITION DOCUMENTATION

Condition Documentation is in 2 parts

1. First part states the Methodology of Documentation and
2. Second part contains the documentation of all the 198 buildings in a tabular format.

3.1 Methodology

A visual inspection of the various components of the Precinct was carried out. The buildings were observed only from outside for assessing the extent of Precinct character, physical transformation and structural condition.

For the purpose of drawing future guidelines, the entire Precinct is divided into 4 segments with respect to their proximity to the Shivaji Park ground: Inner Ring, Middle Ring and Outer Ring and 'Western Segment' i.e. the portion to the west of Veer Savarkar Marg. This part, though exhibiting the same Precinct characteristics, is separated from Shivaji Park ground by the Veer Savarkar Marg.

The documentation includes:

- A. Data extracted from the D.P. Sheet of the area
- B. Data collected through field visits
- C. Photographic documentation

The entire documentation is presented in a Tabular Sheet. Each row of the table is dedicated to one building. The data is given under 18 columns with the following heads:

1	2	3	4	5	6	7	8	9	10
Sr. No.	C.S. No.	Name of Building	Plot Area	Photo	Total no. of floors	No. of floors added	Status of Reconstruction	Precinct Character	Balcony enclosed

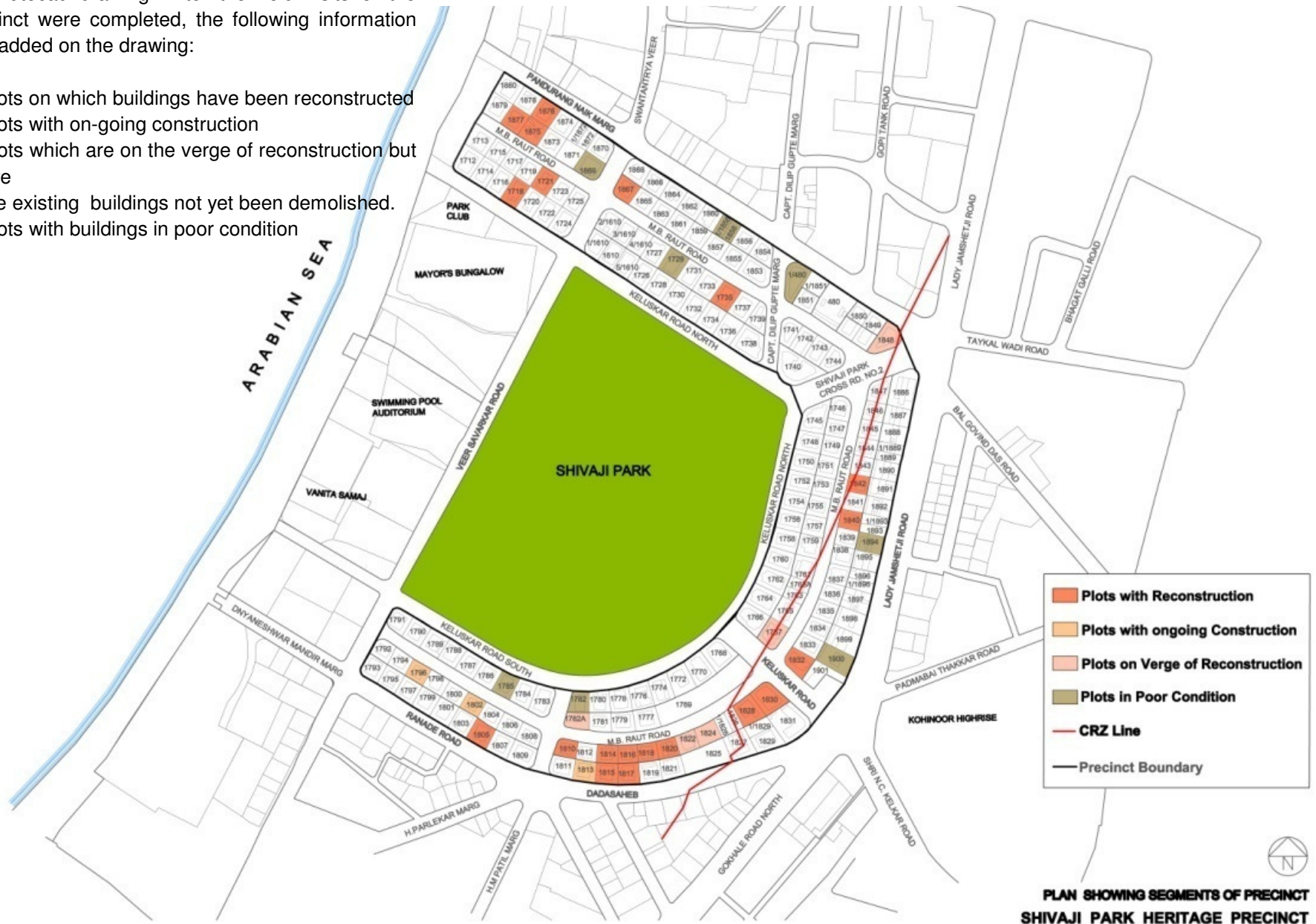
11	12	13	14	15	16	17	18
Balc. Parapet wall changed	Grills added on facade	Windows changed	Weather shades added	Plaster decorations destroyed	Boundary wall design changed	Any other modifications	Condition of building

3.1.1. Data extracted from D.P. Sheet

D.P. Sheet no. 15 (part G/North Ward of MCGM) shows Shivaji Park ground, roads with their names, individual plots with C.S. nos. and the footprints of the buildings. The relevant part of this D.P. sheet was digitized to make Autocad drawing of the Precinct. The sizes and areas of individual plots in the Precinct as well as the ground

The sizes and areas of individual plots in the Precinct as well as the ground coverage of the individual buildings were worked out on the basis of the Autocad drawing. After the field visits of the Precinct were completed, the following information was added on the drawing:

1. Plots on which buildings have been reconstructed
2. Plots with on-going construction
3. Plots which are on the verge of reconstruction but where the existing buildings not yet been demolished.
4. Plots with buildings in poor condition



3.1.2. Data collected through Field Visits

A visual inspection of all the buildings of the Precinct was carried out. The field visits did not involve inspection of the buildings internally. In order to achieve uniformity in the documentation, the guidelines for visual assessment were explained to the members of the Field Team. The various parameters and terms used in the documentation were clearly defined.

3.1.3 Photographic Documentation

Extensive photographic documentation was done for the various components of the Precinct - Buildings, Roads and Vegetation.

The buildings were photographed to record

- i. Number of floors
- ii. Architectural features such as curved corners / curved balconies, patterns of railings, continuous chajjas, decorative boundary walls etc.
- iii. Details on the skin such as railings within the parapet walls, plaster bands, grooves, motifs, fenestrations
- iv. Additional floors showing new columns constructed outside the building line
- v. Setbacks on the top floors
- vi. Modifications carried out to the building

The roads were photographed to record

- i. The proportion of road widths to building heights
- ii. The pavements and their relation to the buildings and the roads
- iii. The vegetation / tree canopy along the roads

3.2 Parameters for inspection of buildings in the Precinct :

- A. The total number of floors
- B. The Architectural Character of the building with respect to the Precinct – Good, Fair, Basic
- C. Physical Transformation
 - a. Whether the building is reconstructed / is under construction / is on the verge of undergoing reconstruction although the existing building is not yet demolished.
 - b. Whether any floor / floors have been added to the existing building
 - i. by construction of additional columns and beams outside the building line
 - ii. without construction of any additional columns and beams outside the building line
 - iii. with a set-back from the face of the building abutting the road.
 - c. Whether any modifications such as enclosure of balconies, addition of grills, addition of weather shades, addition of weather shades etc. have been carried out to the existing building.
- D. The General Condition of the building from its external appearance – Good, Fair, Poor

B. Architectural Character of the building with respect to the Precinct – Good, Fair, Basic

Built Form characters like plot size, foot print, roof profiles, heights in relation to streets and green cover; exterior skin characters and a predominant architectural language (in this case Art Deco).

Good Precinct character

A building is considered to have a Good Precinct character if it exhibits:

- a. Common basic characters generally seen in the Precinct like low scale of the buildings (G+2 or G+3 floors), similar proportions of building footprint to plot size, similar relationship of foot print to height of building and of height of building to width of street, as seen within the entire Heritage Precinct.
- b. In addition to the above a good precinct character exhibits a number of attributes associated with the Art Deco architectural language which is predominantly seen in the precinct; such as curved shaped balconies, typical designs of the railings set within the balcony parapet walls, grills used for the boundary walls; continuous flat chajjas and plaster bands; typical motifs, grooves, etc ,created in the plaster.

Fair Precinct character

A building is considered to have a Fair Precinct character if it exhibits

- a. Common basic characters generally seen in the Precinct like low scale of the buildings (G+2 or G+3 floors), similar proportions of building footprint to plot size, similar relationship of foot print to height of building and of height of building to width of street, as seen within the entire Heritage Precinct.
- b. in addition it exhibits a few if not many features of the Art Deco vocabulary predominant in the precinct.

Basic Precinct character

A building is considered to have only the Basic Precinct character if it exhibits low scale of the buildings (G+2 or G+3 floors), similar proportions of building footprint to plot size, similar relationship of foot print to height of building and of height of building to width of street, as seen within the entire Heritage Precinct. In some cases additional one or two floors are added changing the common skyline. However the buildings in this category have minimal or none of the Art Deco vocabulary.



Good Precinct character



Fair Precinct character



Basic Precinct character

C. Physical transformation

Physical transformation within the heritage precinct is seen in the form of Reconstruction, Additions and Modifications.

Reconstruction

A reconstructed building is one where the existing building has been demolished completely and a new building has been constructed on the plot so vacated.

New buildings which are still under construction but not completed also fall in this category.

Plots which have metal sheets erected along the boundary but the existing building is intact are considered as those on the verge of reconstruction.

Additions

Addition implies addition of floors over existing buildings. This is different from 'Reconstruction' since the existing building is still intact (with or without certain external modifications). Additions are of a structural and permanent nature.

Modifications

Modifications imply changes carried out on the external side of the buildings. They are non-structural and therefore not permanent or irreversible changes and are not in the category of 'Additions'.

Modifications are primarily carried out by individual occupants of the tenements and include:

1. Enclosure of balconies
2. Modification of balcony parapet wall e.g. removal of decorative railing and filling up the panel with masonry
3. Addition of grills on the façade
4. Change in design of windows e.g. replacing timber windows by aluminium
5. Destruction of plaster bands / grooves / motifs etc.
6. Change in design of boundary walls
7. Addition of weather shades, permanent cladding on façade, signages, A.C. units or any other elements

Reconstruction



Additions

One floor added with setback



Modifications
Grills added



Modifications
Balcony Enclosed



D. Condition of Building

Good Condition

A building which does not display cracks in masonry / structural members, does not display exposed reinforcement or other signs of disrepair, which does not show leakages or seepages and generally appears to be maintained in a good manner and especially appears to be externally painted in the recent past is considered to be in good condition.

Fair Condition

A building which does not significantly display cracks in structural members but shows minor cracks in masonry, displays exposed reinforcement (loss of concrete cover) in small patches or shows other signs of disrepair such as chipped and broken corners of chajjas and other members but which does not show significant leakages or seepages and generally appears to be maintained is considered to be in fair condition.

Poor Condition

A building which displays significant cracks in structural members and / or significant cracks in masonry, displays exposed reinforcement (loss of concrete cover) or other signs of **extensive disrepair** such as chipped and broken corners of chajjas and other members, which shows significant leakages or seepages and generally appears to be poorly maintained is considered to be in poor condition.



Good condition



Fair condition



Poor condition

Category of “Good” precinct character



INNER RING : Cts.1788



INNER RING : Cts.1740



INNER RING : Cts.1788



INNER RING : Cts.1748



INNER RING : Cts.1730

Category of “Fair” precinct character



INNER RING : Cts.1774



MIDDLE RING : Cts-1777



WESTERN SEGMENT: Cts-1714



INNER RING : Cts.1610



MIDDLE RING : Cts-1812



WESTERN SEGMENT: Cts-1873

Category of “Good” precinct character



OUTER RING : Cts. 1807



INNER RING : Cts.1758



OUTER RING : Cts. 1793



MIDDLE RING : Cts-1742



MIDDLE RING : Cts.2-1610

Category of “Basic” precinct character



INNER RING : Cts.1776



OUTER RING : Cts. 1860



OUTER RING : Cts. 1856



INNER RING : Cts.1728



WESTERN SEGMENT: Cts-1880

Category of “Basic” precinct character



MIDDLE RING : Cts-1824



WESTERN SEGMENT Cts-1715



INNER RING : Cts.1750



MIDDLE RING : Cts-1779

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3.3 DOCUMENTATION IN TABULAR FORM






CONDITION DOCUMENTATION OF BUILDINGS IN SHIVAJI PARK PRECINCT

INNER RING: 39 PLOTS

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
Sr. No	C.S. No.	Name of Building	Approx. Plot Area (Sqm)	Photo	Total no. of floors (including Additions if any)	No. of floors added	Status of Reconstruction	Precinct character	Balcony enclosed	Balc. Parapet wall changed	Grills added on facade	Windows changed	Weather shades added	Plaster decorations destroyed	Boundary wall design changed	Units / Other additions on facade	Condition of Building
NORTHERN SEGMENT																	
1	1610/1	Jilkar House	495.76		G+4	1	Not applicable	Fair	Yes	No	Yes	Yes	Yes	No	No	Yes	Good
2	1610	Hari Kunj	464.63		G+3	None	Not applicable	Fair	Yes	Yes	Yes	Yes	Yes	No	No	Yes	Good
3	1610/5	Dwarkesh Sadan	453.74		G+2	None	Not applicable	Fair	Yes	No	Yes	Yes	Yes	No	Yes	Yes	Fair
4	1726	Shah Sadan	532.72		G+3	1	Not applicable	Good	No	No	Yes	Yes	Yes	No	No	Yes	Good
5	1728	Siddhivinayak Apa	566.55		G+2	None	Not applicable	Basic	No	No	Yes	No	No	Yes	No	No	Fair



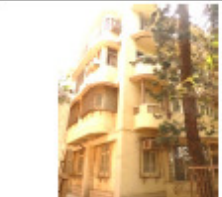


CONDITION DOCUMENTATION OF BUILDINGS IN SHIVAJI PARK PRECINCT

INNER RING: 39 PLOTS






1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
Sr. No	C.S. No.	Name of Building	Approx. Plot Area (Sqm)	Photo	Total no. of floors (including Additions if any)	No. of floors added	Status of Reconstruction	Precinct character	Balcony enclosed	Balc. Parapet wall changed	Grills added on facade	Windows changed	Weather shades added	Plaster decorations destroyed	Boundary wall design changed	Signages / A.C. Units / Other additions on facade	Condition of Building
6	1730	Dinanath Guru Bha	550.78		G+3	1	Not applicable	Good	Yes	No	Yes	Yes	No	Yes	No	No	Good
7	1732	Sadasundar	564.69		G+3	1	Not applicable	Good	Yes	No	Yes	Yes	Yes	No	No	Yes	Fair
8	1734	Savitri Sadan	566.94		G+3	1	Not applicable	Basic	Yes	Yes	Yes	Yes	Yes	Yes	No	Yes	Good
9	1736	Dadaji Nishant	585.75		G+1	None	Not applicable	Good	No	Yes	No	No	No	Yes	Yes	No	Good
10	1738	Gayatri Nilayam	857.02		G+2	None	Not applicable	Basic	Yes	Yes	Yes	Yes	Yes	Yes	No	No	Fair

CONDITION DOCUMENTATION OF BUILDINGS IN SHIVAJI PARK PRECINCT




INNER RING: 39 PLOTS

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
Sr. No	C.S. No.	Name of Building	Approx. Plot Area (Sqm)	Photo	Total no. of floors (including Additions if any)	No. of floors added	Status of Reconstruction	Precinct character	Balcony enclosed	Balc. Parapet wall changed	Grills added on facade	Windows changed	Weather shades added	Plaster decorations destroyed	Boundary wall design changed	Signages / A.C. Units / Other additions on facade	Condition of Building
11	1740	Lakshmi Nivas	1167.91		G+2	None	Not applicable	Good	Yes	No	Yes	Yes	No	No	No	Yes	Good
EASTERN SEGMENT																	
12	1745	Sea View	725.49		G+2	None	Not applicable	Good	Yes	No	Yes	Yes	No	No	No	No	Good
13	1748	Prabhat Building	515.43		G+3	None	Not applicable	Good	Yes	No	Yes	Yes	No	No	No	No	Good
14	1750	Park View	582.37		G+3	1	Not applicable	Basic	Yes	No	Yes	Yes	No	Yes	No	Yes	Good
15	1752	Balmohan Vidya M	540.53		G+3	1	Not applicable	Basic	Yes	No	Yes	Yes	No	Yes	Yes	Yes	Fair






CONDITION DOCUMENTATION OF BUILDINGS IN SHIVAJI PARK PRECINCT
INNER RING: 39 PLOTS

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
Sr. No	C.S. No.	Name of Building	Approx. Plot Area (Sqm)	Photo	Total no. of floors (including Additions if any)	No. of floors added	Status of Reconstruction	Precinct character	Balcony enclosed	Balc. Parapet wall changed	Grills added on facade	Windows changed	Weather shades added	Plaster decorations destroyed	Boundary wall design changed	Signages / A.C. Units / Other additions on facade	Condition of Building
16	1754	Sat Kartar	538.93		G+3	1	Not applicable	Good	No	No	Yes	No	No	Yes	No	Yes	Fair
17	1756	Kamala Bhuvan	513.09		G+3	1	Not applicable	Basic	Yes	Yes	Yes	Yes	No	Yes	No	Yes	Fair
18	1758	Sarah Lodge	552.12		G+3	1	Not applicable	Good	Yes	Yes	Yes	Yes	No	Yes	Yes	Yes	Fair
19	1760	Shanti Niketan	606.23		G+3	1	Not applicable	Basic	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Good
20	1762	Radha Kunj	632.66		G+2	None	Not applicable	Fair	Yes	Yes	Yes	Yes	No	No	Yes	Yes	Good

CONDITION DOCUMENTATION OF BUILDINGS IN SHIVAJI PARK PRECINCT
INNER RING: 39 PLOTS

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
Sr. No	C.S. No.	Name of Building	Approx. Plot Area (Sqm)	Photo	Total no. of floors (including Additions if any)	No. of floors added	Status of Reconstruction	Precinct character	Balcony enclosed	Balc. Parapet wall changed	Grills added on facade	Windows changed	Weather shades added	Plaster decorations destroyed	Boundary wall design changed	Signages / A.C. Units / Other additions on facade	Condition of Building
21	1764	Dixit Niwas	632.66		G+2	1	Not applicable	Fair	Yes	No	Yes	Yes	No	No	No	No	Good
22	1766	Mohan Niwas	669.81		G+3	1	Not applicable	Good	Yes	Yes	Yes	Yes	No	Yes	Yes	No	Good
SOUTHERN SEGMENT																	
23	1768	Shanti Sadan	726.02		G+2	None	Not applicable	Good	Yes	Yes	Yes	Yes	No	Yes	Yes	Yes	Good
24	1770	Indira CHS	630.06		G+2	None	Not applicable	Basic	Yes	Yes	Yes	Yes	No	Yes	No	No	Fair
25	1772	Prabha Vijaya	618.68		G+3	1	Not applicable	Good	Yes	Yes	Yes	Yes	No	No	No	Yes	Fair

CONDITION DOCUMENTATION OF BUILDINGS IN SHIVAJI PARK PRECINCT
INNER RING: 39 PLOTS

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
Sr. No	C.S. No.	Name of Building	Approx. Plot Area (Sqm)	Photo	Total no. of floors (including Additions if any)	No. of floors added	Status of Reconstruction	Precinct character	Balcony enclosed	Balc. Parapet wall changed	Grills added on facade	Windows changed	Weather shades added	Plaster decorations destroyed	Boundary wall design changed	Signages / A.C. Units / Other additions on facade	Condition of Building
26	1774	Trimurti Apartment	574.67		G+3	1	Not applicable	Fair	Yes	No	Yes	No	No	Yes	No	No	Fair
27	1776	Sai Prasad	553.96		G+3	1	Not applicable	Basic	Yes	No	Yes	Yes	Yes	Yes	No	Yes	Fair
28	1778	Madhav Niwas	496.83		G+3	1	Not applicable	Fair	Yes	Yes	Yes	Yes	Yes	Yes	No	No	Fair
29	1780	Shivalaya	442.12		G+3	None	Not applicable	Basic	Yes	Yes	Yes	Yes	No	Yes	No	Yes	Good
30	1782	Prabhat	416.63		G+2	None	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable




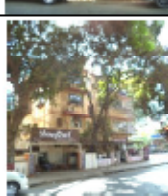
CONDITION DOCUMENTATION OF BUILDINGS IN SHIVAJI PARK PRECINCT

INNER RING: 39 PLOTS

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
Sr. No	C.S. No.	Name of Building	Approx. Plot Area (Sqm)	Photo	Total no. of floors (including Additions if any)	No. of floors added	Status of Reconstruction	Precinct character	Balcony enclosed	Balc. Parapet wall changed	Grills added on facade	Windows changed	Weather shades added	Plaster decorations destroyed	Boundary wall design changed	Signages / A.C. Units / Other additions on facade	Condition of Building
31	1783	Dattasmaren	604.28		G+3	None	Not applicable	Good	Yes	Yes	Yes	Yes	No	No	No	Yes	Good
32	1784	----	514.66		G+2	None	Not applicable	Basic	Yes	No	No	No	No	No	No	Yes	Good
33	1785	Sita Sadan	461.80		G+3	1	Not applicable	Good	Yes	Yes	Yes	Yes	No	Yes	No	No	Poor
34	1786	Krishna Kunj	491.10		G+4	1	Not applicable	Good	Yes	No	Yes	No	Yes	No	Yes	Yes	Good
35	1787	Makhan Niwas	485.55		G+1	None	Not applicable	Basic	Yes	Yes	Yes	No	No	Yes	Yes	Yes	Fair






CONDITION DOCUMENTATION OF BUILDINGS IN SHIVAJI PARK PRECINCT

INNER RING: 39 PLOTS

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
Sr. No	C. S. No.	Name of Building	Approx. Plot Area (Sq.m)	Photo	Total no. of floors (including Additions if any)	No. of floors added	Status of Reconstruction	Precinct character	Balcony enclosed	Balc. Parapet wall changed	Grills added on facade	Windows changed	Weather shades added	Plaster decorations destroyed	Boundary wall design changed	Signages / A.C. Units / Other additions on facade	Condition of Building
36	1788	----	476.63		G+2	None	Not applicable	Good	No	No	No	No	No	No	No	Yes	Good
37	1789	Madhuban	499.99		G+2	None	Not applicable	Good	Yes	No	Yes	Yes	No	No	Yes	Yes	Fair
38	1790	Parimal	491.89		G+3	None	Not applicable	Basic	Yes	Yes	Yes	Yes	No	NA	Yes	Yes	Good
39	1791	Dev Kunj	454.39		G+3	None	Not applicable	Basic	Yes	Yes	Yes	Yes	No	No	No	Yes	Good






CONDITION DOCUMENTATION OF BUILDINGS IN SHIVAJI PARK PRECINCT

MIDDLE RING: 79 PLOTS

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
Sr. No.	C.S. No.	Name of Building	Approx. Plot Area (Sqm)	Photo	Total no. of floors (including Additions if any)	No. of floors added	Status of Reconstruction	Precinct character	Balcony enclosed	Balc. Parapet wall changed	Grills added on façade	Windows changed	Weather shades added	Plaster decorations destroyed	Boundary wall design changed	Signages / A.C. Units / Other additions on facade	Condition of Building
NORTHERN SEGMENT																	
1	1867	DSK Nupuri	461.18		More than G+4	Not applicable	Reconstructed	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable
2	1865	Shera Villa	458.23		G+3	1	Not applicable	Basic	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Fair
3	1863	Gharkul Apartments	430.71		G+3	1	Not applicable	Basic	Yes	No	Yes	Yes	Yes	Yes	Yes	No	Fair
4	1861	Parag	468.19		G+2	None	Not applicable	Fair	Yes	No	Yes	No	No	Yes	Yes	Yes	Fair
5	1859	Guru Krupa	441.03		G+3	1	Not applicable	Good	No	No	No	No	No	No	No	No	Good






CONDITION DOCUMENTATION OF BUILDINGS IN SHIVAJI PARK PRECINCT

MIDDLE RING: 79 PLOTS






1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
Sr. No.	C.S. No.	Name of Building	Approx. Plot Area (Sqm)	Photo	Total no. of floors (including Additions if any)	No. of floors added	Status of Reconstruction	Precinct character	Balcony enclosed	Balc. Parapet wall changed	Grills added on façade	Windows changed	Weather shades added	Plaster decorations destroyed	Boundary wall design changed	Signages / A.C. Units / Other additions on facade	Condition of Building
6	1857	Sea wind Terraces	456.43		G+3	1	Not applicable	Basic	Yes	No	Yes	Yes	Yes	No	No	Yes	Good
7	1855	Vasudev Sadan	446.44		G+2	None	Not applicable	Basic	Yes	Yes	Yes	Yes	Yes	Yes	No	Yes	Fair
8	1853	Anand Bharti	656.84		G+2	None	Not applicable	Good	Yes	No	Yes	Yes	Yes	Yes	No	Yes	Fair
9	2/1610	Kishori Vihar	524.65		G+2	None	Not applicable	Good	Yes	Yes	Yes	No	No	Yes	No	No	Good
10	3/1610	Isha Prasad Apartments	432.49		G+3	1	Not applicable	Good	Yes	No	Yes	Yes	Yes	No	No	No	Fair

CONDITION DOCUMENTATION OF BUILDINGS IN SHIVAJI PARK PRECINCT

MIDDLE RING: 79 PLOTS






1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
Sr. No.	C.S. No.	Name of Building	Approx. Plot Area (Sqm)	Photo	Total no. of floors (including Additions if any)	No. of floors added	Status of Reconstruction	Precinct character	Balcony enclosed	Balc. Parapet wall changed	Grills added on façade	Windows changed	Weather shades added	Plaster decorations destroyed	Boundary wall design changed	Signages / A.C. Units / Other additions on façade	Condition of Building
11	4/1610	Laxmi Bhavan	431.53		G+3	1	Not applicable	Good	Yes	No	Yes	No	No	No	No	Yes	Good
12	1727	Tara Bhavan	534.10		G+3	1	Not applicable	Basic	Yes	No	Yes	Yes	Yes	Yes	No	Yes	Good
13	1729	Pramila Niwas	544.71		G+3	1	Not applicable	Basic	No	No	Yes	No	No	Yes	No	No	Poor
14	1731	Manoratan	478.05		G+3	1	Not applicable	Basic	Yes	No	Yes	Yes	Yes	Yes	No	No	Good
15	1733	Mata Niwas	543.55		G+3	1	Not applicable	Basic	Yes	No	Yes	Yes	Yes	Yes	No	Yes	Fair

CONDITION DOCUMENTATION OF BUILDINGS IN SHIVAJI PARK PRECINCT
MIDDLE RING: 79 PLOTS

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
Sr. No.	C.S. No.	Name of Building	Approx. Plot Area (Sq.m)	Photo	Total no. of floors (including Additions if any)	No. of floors added	Status of Reconstruction	Precinct character	Balcony enclosed	Balc. Parapet wall changed	Grills added on façade	Windows changed	Weather shades added	Plaster decorations destroyed	Boundary wall design changed	Signages / A.C. Units / Other additions on facade	Condition of Building
16	1735	Shree Nathji CHS	526.00		G+3	Not applicable	Reconstructed	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable
17	1737	Shivaji Niwas	548.05		G+2	None	Not applicable	Basic	Yes	No	Yes	No	Yes	No	No	Yes	Good
18	1739	Prachi Apartments	430.25		G+3	1	Not applicable	Basic	Yes	No	Yes	Yes	No	Yes	No	Yes	Fair
19	1851	----	391.31		G+4	2	Not applicable	Basic	Yes	Yes	Yes	Yes	Yes	No	Yes	No	Fair
20	480	Shivsagar	1193.79		G+4	2	Not applicable	Basic	Yes	Yes	Yes	Yes	Yes	No	Yes	Yes	Good






CONDITION DOCUMENTATION OF BUILDINGS IN SHIVAJI PARK PRECINCT

MIDDLE RING: 79 PLOTS






1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
Sr. No.	C.S. No.	Name of Building	Approx. Plot Area (Sqm)	Photo	Total no. of floors (including Additions if any)	No. of floors added	Status of Reconstruction	Precinct character	Balcony enclosed	Balc. Parapet wall changed	Grills added on façade	Windows changed	Weather shades added	Plaster decorations destroyed	Boundary wall design changed	Signages / A.C. Units / Other additions on facade	Condition of Building
21	1741	---	443.64		G+3	None	Not applicable	Good	Yes	No	Yes	No	Yes	No	No	No	Fair
22	1742	---	471.14		G+3	None	Not applicable	Good	Yes	Yes	Yes	No	No	No	No	No	Good
23	1743	---	471.53		G+4	1	Not applicable	Fair	Yes	No	Yes	No	Yes	Yes	No	Yes	Fair
24	1744	Ashirwad Building	440.25		G+4	2	Not applicable	Basic	Yes	No	Yes	No	No	Yes	No	No	Fair
EASTERN SEGMENT																	
25	1847	---	478.96		G+2	None	Not applicable	Fair	Yes	No	Yes	Yes	No	Yes	No	No	Fair

CONDITION DOCUMENTATION OF BUILDINGS IN SHIVAJI PARK PRECINCT

MIDDLE RING: 79 PLOTS






1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
Sr. No.	C.S. No.	Name of Building	Approx. Plot Area (Sq.m)	Photo	Total no. of floors (including Additions if any)	No. of floors added	Status of Reconstruction	Precinct character	Balcony enclosed	Balc. Parapet wall changed	Grills added on façade	Windows changed	Weather shades added	Plaster decorations destroyed	Boundary wall design changed	Signages / A.C. Units / Other additions on facade	Condition of Building
26	1846	Shiv Tirtha	392.06		G+3	None	Not applicable	Basic	Yes	No	Yes	Yes	No	Yes	Yes	No	Fair
27	1845	Bhagwan Mansion	398.57		G+3	1	Not applicable	Basic	Yes	No	Yes	Yes	Yes	Yes	No	No	Good
28	1844	Shree Niwas	389.93		G+3	1	Not applicable	Basic	Yes	No	Yes	Yes	Yes	Yes	No	No	Fair
29	1843	Ojas	396.74		G+3	None	Not applicable	Fair	No	No	No	No	No	Yes	No	No	Fair
30	1842	La Vista	376.70		More than G+4	Not applicable	Reconstructed	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable

CONDITION DOCUMENTATION OF BUILDINGS IN SHIVAJI PARK PRECINCT
MIDDLE RING: 79 PLOTS

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
Sr. No.	C.S. No.	Name of Building	Approx. Plot Area (Sqm)	Photo	Total no. of floors (including Additions if any)	No. of floors added	Status of Reconstruction	Precinct character	Balcony enclosed	Balc. Parapet wall changed	Grills added on façade	Windows changed	Weather shades added	Plaster decorations destroyed	Boundary wall design changed	Signages / A.C. Units / Other additions on facade	Condition of Building
31	1841	Kaiwalya Dham	389.23		G+2	None	Not applicable	Good	Yes	Yes	Yes	Yes	No	No	No	No	Good
32	1840	Shree Krupa	399.98		More than G+4	Not applicable	Reconstructed	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable
33	1839	Dwarka Kunj	382.60		G+3	1	Not applicable	Basic	Yes	No	Yes	Yes	Yes	Yes	No	No	Fair
34	1838	----	409.77		G+2	None	Not applicable	Fair	Yes	No	Yes	Yes	No	Yes	No	No	Fair
35	1837	Ram Kunj	413.32		G+3	1	Not applicable	Fair	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Fair






CONDITION DOCUMENTATION OF BUILDINGS IN SHIVAJI PARK PRECINCT

MIDDLE RING: 79 PLOTS

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
Sr. No.	C.S. No.	Name of Building	Approx. Plot Area (Sqm)	Photo	Total no. of floors (including Additions if any)	No. of floors added	Status of Reconstruction	Precinct character	Balcony enclosed	Balc. Parapet wall changed	Grills added on façade	Windows changed	Weather shades added	Plaster decorations destroyed	Boundary wall design changed	Signages / A.C. Units / Other additions on façade	Condition of Building
36	1836	---	421.56		G+2	None	Not applicable	Basic	No	No	No	Yes	No	Yes	No	No	Good
37	1835	Ganesh Niketan	434.08		G+2	None	Not applicable	Fair	Yes	Yes	Yes	No	No	Yes	No	Yes	Fair
38	1834	Shahade Sadan	454.84		G+3	1	Not applicable	Good	Yes	Yes	Yes	Yes	No	Yes	No	No	Fair
39	1833	Shahade Sadan	473.50		G+3	1	Not applicable	Good	Yes	Yes	Yes	Yes	No	Yes	No	No	Fair
40	1832	Atharva	542.01		More than G+4	Not applicable	Reconstructed	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable






CONDITION DOCUMENTATION OF BUILDINGS IN SHIVAJI PARK PRECINCT

MIDDLE RING: 79 PLOTS

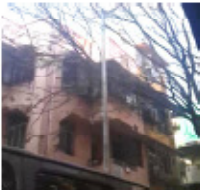




1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
Sr. No.	C.S. No.	Name of Building	Approx. Plot Area (Sqm)	Photo	Total no. of floors (including Additions if any)	No. of floors added	Status of Reconstruction	Precinct character	Balcony enclosed	Balc. Parapet wall changed	Grills added on façade	Windows changed	Weather shades added	Plaster decorations destroyed	Boundary wall design changed	Signages / A.C. Units / Other additions on facade	Condition of Building
41	1746	Krishna Kunj	472.77		G+4	1	Not applicable	Basic	Yes	Yes	Yes	Yes	Yes	Yes	No	Yes	Fair
42	1747	---	358.62		G+3	None	Not applicable	Basic	Yes	No	Yes	Yes	No	Yes	No	No	Fair
43	1749	Bhargav	426.99		G+2	None	Not applicable	Fair	Yes	No	Yes	No	No	No	No	No	Good
44	1751	Mehta Cottage	436.82		G+3	None	Not applicable	Good	Yes	No	Yes	Yes	No	Yes	No	No	Good
45	1753	Ratnaprabha CHS	411.90		G+3	None	Not applicable	Basic	Yes	No	Yes	Yes	No	Yes	No	No	Good

CONDITION DOCUMENTATION OF BUILDINGS IN SHIVAJI PARK PRECINCT

MIDDLE RING: 79 PLOTS



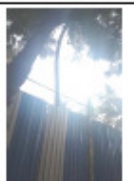
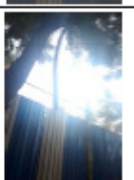

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
Sr. No.	C.S. No.	Name of Building	Approx. Plot Area (Sqm)	Photo	Total no. of floors (including Additions if any)	No. of floors added	Status of Reconstruction	Precinct character	Balcony enclosed	Balc. Parapet wall changed	Grills added on façade	Windows changed	Weather shades added	Plaster decorations destroyed	Boundary wall design changed	Signages / A.C. Units / Other additions on facade	Condition of Building
46	1755	Narsingh Nivas	429.56		G+3	1	Not applicable	Basic	Yes	No	Yes	Yes	No	Yes	Yes	No	Fair
47	1757	Pethe Building	441.05		G+3	1	Not applicable	Good	Yes	No	Yes	No	No	No	No	Yes	Good
48	1759	Desai Cottage	490.31		G+3	1	Not applicable	Good	Yes	No	Yes	Yes	Yes	Yes	Yes	No	Fair
49	1761	Indu Villa	530.71		G+3	1	Not applicable	Fair	Yes	No	No	No	No	Yes	No	No	Good
50	1763A	Rama Sadan	241.38		G+3	1	Not applicable	Good	Yes	No	Yes	Yes	No	No	No	No	Good

CONDITION DOCUMENTATION OF BUILDINGS IN SHIVAJI PARK PRECINCT
MIDDLE RING: 79 PLOTS

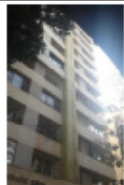




1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
Sr. No.	C.S. No.	Name of Building	Approx. Plot Area (Sqm)	Photo	Total no. of floors (including Additions if any)	No. of floors added	Status of Reconstruction	Precinct character	Balcony enclosed	Balc. Parapet wall changed	Grills added on façade	Windows changed	Weather shades added	Plaster decorations destroyed	Boundary wall design changed	Signages / A.C. Units / Other additions on facade	Condition of Building
51	1763	Rama Sadan	255.29		G+3	1	Not applicable	Basic	Yes	No	Yes	Yes	Yes	Yes	No	No	Fair
52	1765	Shiv Sadan	543.64		G+3	1	Not applicable	Basic	Yes	No	Yes	Yes	Yes	Yes	No	No	Fair
53	1767	---	583.19		Not applicable	Not applicable	On verge of Reconstruction	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable
SOUTHERN SEGMENT																	
54	1830	Gypsy Corner	722.84		More than G+4	Not applicable	Reconstructed	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable
55	1828	---	590.22		More than G+4	Not applicable	Reconstructed	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable

CONDITION DOCUMENTATION OF BUILDINGS IN SHIVAJI PARK PRECINCT






MIDDLE RING: 79 PLOTS

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
Sr. No.	C.S. No.	Name of Building	Approx. Plot Area (Sqm)	Photo	Total no. of floors (including Additions if any)	No. of floors added	Status of Reconstruction	Precinct character	Balcony enclosed	Balc. Parapet wall changed	Grills added on façade	Windows changed	Weather shades added	Plaster decorations destroyed	Boundary wall design changed	Signages / A.C. Units / Other additions on facade	Condition of Building
56	1826	Dr. Purandare's Hospital	255.15		G+3	None	Not applicable	Fair	Yes	No	Yes	No	No	No	No	No	Good
57	1/1826	Dr. Purandare's Hospital	250.81		G+3	None	Not applicable	Fair	Yes	No	Yes	No	No	No	No	No	Good
58	1824	----	461.25		Not applicable	Not applicable	On verge of Reconstruction	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable
59	1822	----	406.51		Not applicable	Not applicable	On verge of Reconstruction	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable
60	1820	Shivneri Heights	380.84		More than G+4	Not applicable	Reconstructed	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable






CONDITION DOCUMENTATION OF BUILDINGS IN SHIVAJI PARK PRECINCT
MIDDLE RING: 79 PLOTS

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
Sr. No.	C.S. No.	Name of Building	Approx. Plot Area (Sqm)	Photo	Total no. of floors (including Additions if any)	No. of floors added	Status of Reconstruction	Precinct character	Balcony enclosed	Balc. Parapet wall changed	Grills added on façade	Windows changed	Weather shades added	Plaster decorations destroyed	Boundary wall design changed	Signages / A.C. Units / Other additions on facade	Condition of Building
61	1818	Shivneri Heights	366.21		More than G+4	Not applicable	Reconstructed	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable
62	1816	Shree Apartments	362.86		More than G+4	Not applicable	Reconstructed	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable
63	1814	Saket	378.90		More than G+4	Not applicable	Reconstructed	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable
64	1812	Anandi	361.24		G+2	None	Not applicable	Fair	Yes	No	Yes	Yes	No	Yes	No	No	Fair
65	1810	---	372.50		More than G+4	Not applicable	Reconstructed	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable

CONDITION DOCUMENTATION OF BUILDINGS IN SHIVAJI PARK PRECINCT
MIDDLE RING: 79 PLOTS




1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
Sr. No.	C.S. No.	Name of Building	Approx. Plot Area (Sqm)	Photo	Total no. of floors (including Additions if any)	No. of floors added	Status of Reconstruction	Precinct character	Balcony enclosed	Balc. Parapet wall changed	Grills added on façade	Windows changed	Weather shades added	Plaster decorations destroyed	Boundary wall design changed	Signages / A.C. Units / Other additions on facade	Condition of Building
66	1769	Balmohan Vidya Mandir	2333.07		G+3	None	Not applicable	Fair	No	No	No	No	No	No	No	No	Good
67	1777	Krishna Prasad	524.28		G+3	1	Not applicable	Fair	Yes	Yes	Yes	Yes	No	Yes	No	No	Good
68	1779	Lakshmi Sadan	471.52		G+3	1	Not applicable	Basic	Yes	No	Yes	Yes	Yes	Yes	No	No	Good
69	1781	Savarkar Sadan	415.44		More than G+4	More than 2	Not applicable	Basic	Yes	No	Yes	Yes	Yes	Yes	No	Yes	Good
70	1782 A	----	391.70		Not applicable	Not applicable	On verge of Reconstruction	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable

CONDITION DOCUMENTATION OF BUILDINGS IN SHIVAJI PARK PRECINCT
MIDDLE RING: 79 PLOTS

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
Sr. No.	C.S. No.	Name of Building	Approx. Plot Area (Sqm)	Photo	Total no. of floors (including Additions if any)	No. of floors added	Status of Reconstruction	Precinct character	Balcony enclosed	Balc. Parapet wall changed	Grills added on façade	Windows changed	Weather shades added	Plaster decorations destroyed	Boundary wall design changed	Signages / A.C. Units / Other additions on facade	Condition of Building
71	1808	----	427.98		G+3	1	Not applicable	Fair	Yes	Yes	Yes	Yes	Yes	Yes	No	Yes	Good
72	1806	----	413.17		G+4	2	Not applicable	Good	Yes	No	Yes	Yes	Yes	No	Yes	No	Good
73	1804	----	408.03		G+3	1	Not applicable	Good	Yes	No	Yes	Yes	No	No	No	No	Good
74	1802	----	372.07		More than G+4	Not applicable	Under construction	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable
75	1800	-----	389.75		G+4	More than 2	Not applicable	Basic	Yes	No	Yes	Yes	Yes	Yes	No	Yes	Fair




CONDITION DOCUMENTATION OF BUILDINGS IN SHIVAJI PARK PRECINCT

MIDDLE RING: 79 PLOTS

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
Sr. No.	C.S. No.	Name of Building	Approx. Plot Area (Sq.m)	Photo	Total no. of floors (including Additions if any)	No. of floors added	Status of Reconstruction	Precinct character	Balcony enclosed	Balc. Parapet wall changed	Grills added on façade	Windows changed	Weather shades added	Plaster decorations destroyed	Boundary wall design changed	Signages / A.C. Units / Other additions on facade	Condition of Building
76	1798	----	398.34		G+2	None	Not applicable	Good	No	No	No	No	No	No	No	No	Fair
77	1796	----	381.11		More than G+4	Not applicable	Under construction	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable
78	1794	Nandadeep	394.85		G+1	None	Not applicable	Fair	Yes	No	Yes	No	Yes	No	No	No	Good
79	1792	Nandadeep	398.15		G+1	None	Not applicable	Fair	Yes	No	Yes	No	Yes	No	No	No	Good

CONDITION DOCUMENTATION OF BUILDINGS IN SHIVAJI PARK PRECINCT

OUTER RING: 53 PLOTS

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
Sr. No.	C.S. No.	Name of Building	Approx. Plot Area (Sqm)	Photo	Total no. of floors (including Additions if any)	No. of floors added	Status of Reconstruction	Precinct character	Balcony enclosed	Balc. Parapet wall changed	Grills added on façade	Windows changed	Weather shades added	Plaster decorations destroyed	Boundary wall design changed	Signages / A.C. Units / Other additions on façade	Condition of Building
NORTHERN SEGMENT																	
1	1868	Tikona House Apartments	483.44		G+2	Not applicable	Not applicable	Good	Yes	No	Yes	Yes	No	Yes	Yes	No	Good
2	1866	---	483.23		G+4	2	Not applicable	Basic	Yes	No	Yes	Yes	Yes	No	No	Yes	Good
3	1864	Neelkamal Apartments	461.53		G+3	1	Not applicable	Fair	Yes	No	Yes	Yes	No	Yes	No	Yes	Good
4	1862	Shree Niwas	482.05		G+2	Not applicable	Not applicable	Fair	Yes	Yes	Yes	No	No	No	No	No	Good
5	1860	---	450.48		G+3	1	Not applicable	Basic	Yes	Yes	Yes	Yes	Yes	Yes	No	Yes	Fair




CONDITION DOCUMENTATION OF BUILDINGS IN SHIVAJI PARK PRECINCT

OUTER RING: 53 PLOTS






1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
Sr. No.	C.S. No.	Name of Building	Approx. Plot Area (Sqm)	Photo	Total no. of floors (including Additions if any)	No. of floors added	Status of Reconstruction	Precinct character	Balcony enclosed	Balc. Parapet wall changed	Grills added on façade	Windows changed	Weather shades added	Plaster decorations destroyed	Boundary wall design changed	Signages / A.C. Units / Other additions on façade	Condition of Building
6	1/1858	---	229.10		G+4	1	Not applicable	Fair	Yes	No	Yes	Yes	Yes	Yes	No	Yes	Poor
7	1858	---	229.97		G+4	1	Not applicable	Fair	Yes	No	Yes	Yes	Yes	Yes	No	Yes	Poor
8	1856	Ameya Apartments (Endoscopic Hospital)	462.26		G+3	1	Not applicable	Basic	Yes	Yes	Yes	Yes	Yes	No	No	Yes	Good
9	1854	Rukshmani Villa	456.38		G+3	Not applicable	Not applicable	Basic	Yes	No	Yes	Yes	No	Yes	No	Yes	Good
10	1/480	Raj Mahal	691.61		G+2	Not applicable	Not applicable	Good	Yes	Yes	Yes	Yes	No	Yes	No	Yes	Poor

CONDITION DOCUMENTATION OF BUILDINGS IN SHIVAJI PARK PRECINCT






OUTER RING: 53 PLOTS

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
Sr. No.	C.S. No.	Name of Building	Approx. Plot Area (Sqm)	Photo	Total no. of floors (including Additions if any)	No. of floors added	Status of Reconstruction	Precinct character	Balcony enclosed	Balc. Parapet wall changed	Grills added on façade	Windows changed	Weather shades added	Plaster decorations destroyed	Boundary wall design changed	Signages / A.C. Units / Other additions on façade	Condition of Building
11	1/1851	Krishna Kunj	391.31		G+3	Not applicable	Not applicable	Basic	Yes	No	Yes	Yes	No	Yes	No	No	Fair
12	1850	Usha Niwas	332.39		G+3	1	Not applicable	Basic	Yes	Yes	Yes	Yes	Yes	Yes	No	Yes	Fair
13	1849	Unity	342.54		G+3	1	Not applicable	Basic	Yes	Yes	Yes	Yes	Yes	Yes	No	Yes	Fair
14	1848	---	649.97		Not applicable	Not applicable	On verge of Reconstruction	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable
EASTERN SEGMENT																	
15	1886	Hari Niwas	957.55		G+3	Not applicable	Not applicable	Good	Yes	No	Yes	Yes	Yes	No	Not applicable	Yes	Good

CONDITION DOCUMENTATION OF BUILDINGS IN SHIVAJI PARK PRECINCT
OUTER RING: 53 PLOTS






1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
Sr. No.	C.S. No.	Name of Building	Approx. Plot Area (Sqm)	Photo	Total no. of floors (including Additions if any)	No. of floors added	Status of Reconstruction	Precinct character	Balcony enclosed	Balc. Parapet wall changed	Grills added on façade	Windows changed	Weather shades added	Plaster decorations destroyed	Boundary wall design changed	Signages / A.C. Units / Other additions on façade	Condition of Building
16	1887	Hari Niwas	480.18		G+3	Not applicable	Not applicable	Good	Yes	No	Yes	Yes	Yes	No	Not applicable	Yes	Good
17	1888	Hari Niwas	487.71		G+3	Not applicable	Not applicable	Good	Yes	No	Yes	Yes	Yes	No	Not applicable	Yes	Good
18	1/1889	Hari Niwas	250.94		G+3	Not applicable	Not applicable	Good	Yes	No	Yes	Yes	Yes	No	Not applicable	Yes	Good
19	1889	Hari Niwas	236.28		G+3	Not applicable	Not applicable	Good	Yes	No	Yes	Yes	Yes	No	Not applicable	Yes	Good
20	1890	Govinda Ashram	489.14		G+3	1	Not applicable	Good	Yes	Yes	Yes	Yes	No	Yes	Not applicable	No	Good

CONDITION DOCUMENTATION OF BUILDINGS IN SHIVAJI PARK PRECINCT
OUTER RING: 53 PLOTS

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
Sr. No.	C.S. No.	Name of Building	Approx. Plot Area (Sq.m)	Photo	Total no. of floors (including Additions if any)	No. of floors added	Status of Reconstruction	Precinct character	Balcony enclosed	Balc. Parapet wall changed	Grills added on façade	Windows changed	Weather shades added	Plaster decorations destroyed	Boundary wall design changed	Signages / A.C. Units / Other additions on façade	Condition of Building
21	1891	Mahendra Mansion	488.69		More than G+4	2	Not applicable	Fair	Yes	No	Yes	Yes	Yes	Yes	Not applicable	Yes	Fair
22	1892	Jagan Niwas	495.54		G+3	Not applicable	Not applicable	Good	No	No	No	Yes	No	No	Not applicable	No	Fair
23	1/1893	Sitaram Bhuvan	260.90		G+4	Not applicable	Not applicable	Basic	No	No	Yes	Yes	No	No	Not applicable	Yes	Fair
24	1893	Sitaram Bhuvan	248.53		G+4	Not applicable	Not applicable	Basic	No	No	Yes	Yes	No	No	Not applicable	Yes	Fair
25	1894	Yashoda	483.44		G+3	Not applicable	Not applicable	Good	Yes	Yes	Yes	Yes	No	Yes	Not applicable	Yes	Poor





CONDITION DOCUMENTATION OF BUILDINGS IN SHIVAJI PARK PRECINCT

OUTER RING: 53 PLOTS

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
Sr. No.	C.S. No.	Name of Building	Approx. Plot Area (Sqm)	Photo	Total no. of floors (including Additions if any)	No. of floors added	Status of Reconstruction	Precinct character	Balcony enclosed	Balc. Parapet wall changed	Grills added on façade	Windows changed	Weather shades added	Plaster decorations destroyed	Boundary wall design changed	Signages / A.C. Units / Other additions on façade	Condition of Building
26	1895	Himmat Mansion	488.72		G+3	Not applicable	Not applicable	Good	Yes	No	Yes	Yes	Yes	No	Not applicable	Yes	Fair
27	1896	Udyog Bhavan	281.50		G+4	1	Not applicable	Good	Yes	Yes	Yes	Yes	No	No	Not applicable	Yes	Fair
28	1/1896	---	279.17		G+3	Not applicable	Not applicable	Fair	Yes	No	Yes	Yes	No	Yes	Not applicable	Yes	Fair
29	1897	Indrasen Bhuvan	588.93		G+3	Not applicable	Not applicable	Basic	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Good
30	1898	Mangesh Sadan	617.71		G+3	1	Not applicable	Good	Yes	No	Yes	Yes	No	Yes	Not applicable	Yes	Fair






CONDITION DOCUMENTATION OF BUILDINGS IN SHIVAJI PARK PRECINCT

OUTER RING: 53 PLOTS





1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
Sr. No.	C.S. No.	Name of Building	Approx. Plot Area (Sq.m)	Photo	Total no. of floors (including Additions if any)	No. of floors added	Status of Reconstruction	Precinct character	Balcony enclosed	Balc. Parapet wall changed	Grills added on façade	Windows changed	Weather shades added	Plaster decorations destroyed	Boundary wall design changed	Signages / A.C. Units / Other additions on façade	Condition of Building
31	1899	---	693.53		G+1	Not applicable	Not applicable	Basic	No	No	No	No	No	No	Not applicable	No	Good
32	1900	Vawda Building	716.08		G+3	1	Not applicable	Good	Yes	No	Yes	Yes	No	Yes	Not applicable	Yes	Fair
33	1901	Petrol Pump	550.52		G only	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable
SOUTHERN SEGMENT																	
34	1831	---	1064.06		G+3	1	Not applicable	Basic	Yes	No	Yes	Yes	Yes	Yes	Not applicable	Yes	Good
35	1829	---	567.71		G+3	1	Not applicable	Good	Yes	No	Yes	Yes	Yes	Yes	No	No	Fair

CONDITION DOCUMENTATION OF BUILDINGS IN SHIVAJI PARK PRECINCT

OUTER RING: 53 PLOTS






1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
Sr. No.	C.S. No.	Name of Building	Approx. Plot Area (Sqm)	Photo	Total no. of floors (including Additions if any)	No. of floors added	Status of Reconstruction	Precinct character	Balcony enclosed	Balc. Parapet wall changed	Grills added on façade	Windows changed	Weather shades added	Plaster decorations destroyed	Boundary wall design changed	Signages / A.C. Units / Other additions on façade	Condition of Building
36	1/1829	---	307.02		G+3	1	Not applicable	Good	Yes	No	Yes	Yes	Yes	Yes	No	No	Fair
37	1827	Shankar Niwas	690.66		G+2	Not applicable	Not applicable	Basic	Yes	No	Yes	No	No	Yes	No	No	Fair
38	1825	Brahman Sahayak Sangh	1065.80		G+2	Not applicable	Not applicable	Good	No	No	No	Yes	No	No	Yes	No	Fair
39	1821	Radha Niwas	480.61		G+2	Not applicable	Not applicable	Good	No	No	Yes	No	No	Yes	Yes	Yes	Fair
40	1819	---	468.55		G+3	1	Not applicable	Basic	Yes	Yes	No	No	Yes	Yes	Yes	Yes	Fair

CONDITION DOCUMENTATION OF BUILDINGS IN SHIVAJI PARK PRECINCT
OUTER RING: 53 PLOTS

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
Sr. No.	C.S. No.	Name of Building	Approx. Plot Area (Sq.m)	Photo	Total no. of floors (including Additions if any)	No. of floors added	Status of Reconstruction	Precinct character	Balcony enclosed	Balc. Parapet wall changed	Grills added on façade	Windows changed	Weather shades added	Plaster decorations destroyed	Boundary wall design changed	Signages / A.C. Units / Other additions on façade	Condition of Building
41	1817	---	464.05		More than G+4	Not applicable	Reconstructed	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable
42	1815	---	464.05		More than G+4	Not applicable	Reconstructed	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable
43	1813	---	450.18		More than G+4	Not applicable	Under construction	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable
44	1811	---	494.88		G+3	Not applicable	Not applicable	Good	No	No	No	No	No	Yes	No	Yes	Good
45	1809	Bhagirati Prasad	533.35		G+3	1	Not applicable	Fair	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Good




CONDITION DOCUMENTATION OF BUILDINGS IN SHIVAJI PARK PRECINCT


OUTER RING: 53 PLOTS


1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
Sr. No.	C.S. No.	Name of Building	Approx. Plot Area (Sqm)	Photo	Total no. of floors (including Additions if any)	No. of floors added	Status of Reconstruction	Precinct character	Balcony enclosed	Balc. Parapet wall changed	Grills added on façade	Windows changed	Weather shades added	Plaster decorations destroyed	Boundary wall design changed	Signages / A.C. Units / Other additions on façade	Condition of Building
46	1807	Krishna Kunj	505.58		G+3	1	Not applicable	Good	Yes	No	Yes	No	No	No	No	No	Good
47	1805	Shubhashri Apartments	511.84		More than G+4	Not applicable	Reconstructed	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable
48	1803	Gokul	491.68		G+3	Not applicable	Not applicable	Basic	No	No	No	No	No	No	No	No	Good
49	1801	Dwarkanath	495.34		G+2	Not applicable	Not applicable	Basic	Yes	No	Yes	Yes	No	No	No	No	Good
50	1799	Sanghavi Sadan	480.07		G+2	Not applicable	Not applicable	Good	Yes	No	Yes	Yes	No	Yes	No	Yes	Good

CONDITION DOCUMENTATION OF BUILDINGS IN SHIVAJI PARK PRECINCT

OUTER RING: 53 PLOTS






1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
Sr. No.	C.S. No.	Name of Building	Approx. Plot Area (Sqm)	Photo	Total no. of floors (including Additions if any)	No. of floors added	Status of Reconstruction	Precinct character	Balcony enclosed	Balc. Parapet wall changed	Grills added on façade	Windows changed	Weather shades added	Plaster decorations destroyed	Boundary wall design changed	Signages / A.C. Units / Other additions on façade	Condition of Building
51	1797	Ninad	456.04		G+3	1	Not applicable	Basic	Yes	Yes	Yes	No	Yes	Yes	Yes	Yes	Fair
52	1795	Vandan	440.44		G+3	Not applicable	Not applicable	Good	Yes	No	No	No	Yes	Yes	No	No	Fair
53	1793	Ganesh Krupa	475.38		G+2	Not applicable	Not applicable	Good	Yes	No	Yes	No	No	No	No	Yes	Good







1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
Sr. No	C.S. No.	Name of Building	Approx. Plot Area (Sq.m)	Photo	Total no. of floors (including Additions if any)	No. of floors added	Status of Reconstruction	Precinct character	Balcony enclosed	Balc. Parapet wall changed	Grills added on facade	Windows changed	Weather shades added	Plaster decorations destroyed	Boundary wall design changed	Signages / A.C. Units / Other additions on facade	Condition of Building
1	1712	Samudra Tarang Apartments	617.10		G+2	None	Not applicable	Good	No	No	No	No	No	No	No	Yes	Good
2	1714	---	499.76		G+3	1	Not applicable	Fair	No	No	No	No	Yes	Yes	No	Yes	Fair
3	1716	Sunder Apartments	514.77		G+3	1	Not applicable	Good	Yes	No	Yes	Yes	No	Yes	Yes	Yes	Fair
4	1718	Merchant House	495.10		More than G+4	Not applicable	Reconstructed	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable
5	1720	Bhakti	511.38		G+3	1	Not applicable	Basic	Yes	Yes	Yes	Yes	No	Yes	Yes	Yes	Fair
6	1722	Sai Sawli	509.23		G+3	None	Not applicable	Fair	Yes	No	Yes	No	No	Yes	No	No	Fair

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
Sr. No	C.S. No.	Name of Building	Approx. Plot Area (Sqm)	Photo	Total no. of floors (including Additions if any)	No. of floors added	Status of Reconstruction	Precinct character	Balcony enclosed	Balc. Parapet wall changed	Grills added on facade	Windows changed	Weather shades added	Plaster decorations destroyed	Boundary wall design changed	Signages / A.C. Units / Other additions on facade	Condition of Building
7	1724	Silverine Apartments	537.46		G+3	1	Not applicable	Good	Yes	Yes	Yes	Yes	Yes	Yes	No	Yes	Good
8	1879	Raval Sea View	518.96		G+2	None	Not applicable	Fair	Yes	No	No	Yes	Yes	Yes	Yes	No	Good
9	1877	----	473.83		G+3	Not applicable	Reconstructed	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable
10	1875	Amber Kutir	498.67		More than G+4	Not applicable	Reconstructed	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable
11	1873	Sanskrit Co-op. Hsg. Society	477.34		G+3	1	Not applicable	Fair	Yes	No	Yes	No	No	No	No	Yes	Good
12	1871	Prasad	499.11		G+4	1	Not applicable	Basic	Yes	Yes	Yes	Yes	No	No	No	Yes	Good

CONDITION DOCUMENTATION OF BUILDINGS IN SHIVAJI PARK PRECINCT




WESTERN SEGMENT: 27 PLOTS

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
Sr. No	C.S. No.	Name of Building	Appro x. Plot Area (Sqm)	Photo	Total no. of floors (including Additions if any)	No. of floors added	Status of Reconstruction	Precinct character	Balcony enclosed	Balc. Parapet wall changed	Grills added on facade	Windows changed	Weather shades added	Plaster decorations destroyed	Boundary wall design changed	Signages / A.C. Units / Other additions on facade	Condition of Building
13	1869	Shiv Prasad Apartments	542.58		G+4	2	Not applicable	Good	Yes	Yes	Yes	Yes	Yes	Yes	Yes	No	Poor
14	1713	Radha Sadan	575.42		G+2	None	Not applicable	Fair	No	No	Yes	Yes	No	Yes	Yes	Yes	Good
15	1715	Vinay Kunj	395.78		G+3	None	Not applicable	Basic	No	No	No	No	No	No	No	No	Good
16	1717	Nandadeep	413.70		G+2	None	Not applicable	Basic	Yes	Yes	Yes	Yes	No	No	No	Yes	Good
17	1719	Shiv-Anam	427.82		G+3	None	Not applicable	Fair	Yes	No	No	Yes	No	No	No	Yes	Good
18	1721	Sushila Sadan	463.63		More than G+4	Not applicable	Reconstructed	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
Sr. No	C.S. No.	Name of Building	Approx. Plot Area (Sqm)	Photo	Total no. of floors (including Additions if any)	No. of floors added	Status of Reconstruction	Precinct character	Balcony enclosed	Balc. Parapet wall changed	Grills added on facade	Windows changed	Weather shades added	Plaster decorations destroyed	Boundary wall design changed	Signages / A.C. Units / Other additions on facade	Condition of Building
19	1723	----	470.32		G+3	1	Not applicable	Basic	Yes	Yes	No	No	No	Yes	Yes	Yes	Fair
20	1725	Sushil	451.78		G+4	1	Not applicable	Basic	Yes	No	Yes	Yes	Yes	Yes	No	Yes	Good
21	1880	Shorewala Sadan	540.01		G+3	1	Not applicable	Basic	Yes	No	Yes	Yes	Yes	Yes	No	Yes	Fair
22	1878	Godavari Krupa	477.92		G+3	1	Not applicable	Fair	Yes	No	Yes	Yes	Yes	Yes	No	Yes	Fair
23	1876	Vishal Villa	504.39		More than G+4	Not applicable	Reconstructed	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable	Not applicable
24	1874	----	482.53		G+2	None	Not applicable	Basic	Yes	No	Yes	Yes	Yes	Yes	No	No	Fair

CONDITION DOCUMENTATION OF BUILDINGS IN SHIVAJI PARK PRECINCT

WESTERN SEGMENT: 27 PLOTS

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
Sr. No	C.S. No.	Name of Building	Approx. Plot Area (Sq.m)	Photo	Total no. of floors (including Additions if any)	No. of floors added	Status of Reconstruction	Precinct character	Balcony enclosed	Balc. Parapet wall changed	Grills added on facade	Windows changed	Weather shades added	Plaster decorations destroyed	Boundary wall design changed	Signages / A.C. Units / Other additions on facade	Condition of Building
25	1/1872	Ganga Lahari	259.03		G+3	1	Not applicable	Basic	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Fair
26	1872	Ganga Lahari	248.49		G+3	1	Not applicable	Basic	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Fair
27	1870	Kamal Park	515.33		G+3	1	Not applicable	Good	Yes	Yes	No	Yes	Yes	Yes	No	Yes	Fair

4.0 FINDINGS

4.1 Area of plots

4.2 Foot prints and relationship to the streets

4.3 Number of floors

4.4 Demolition and reconstruction

4.5 Additions

4.6 Modifications

4.7 Conditions of the buildings good/fair/poor

4.8 Architectural language: good/fair/basic

4.9 Road patterns

4.10 Green covers and avenues

4.11 Density of population

4.0 FINDINGS

The Findings are derived from the Documentation for this study and from historical study of urban planning of the Island City

Objective of the Findings

The parameters for documenting the findings are the parameters that shaped the vision of the precinct when it was created in the 1930s. The current status of these attributes would show whether the overall envisaged character of the precinct is still intact and therefore, whether the precinct identified as the Heritage Precinct requires protection and conservation of its character.

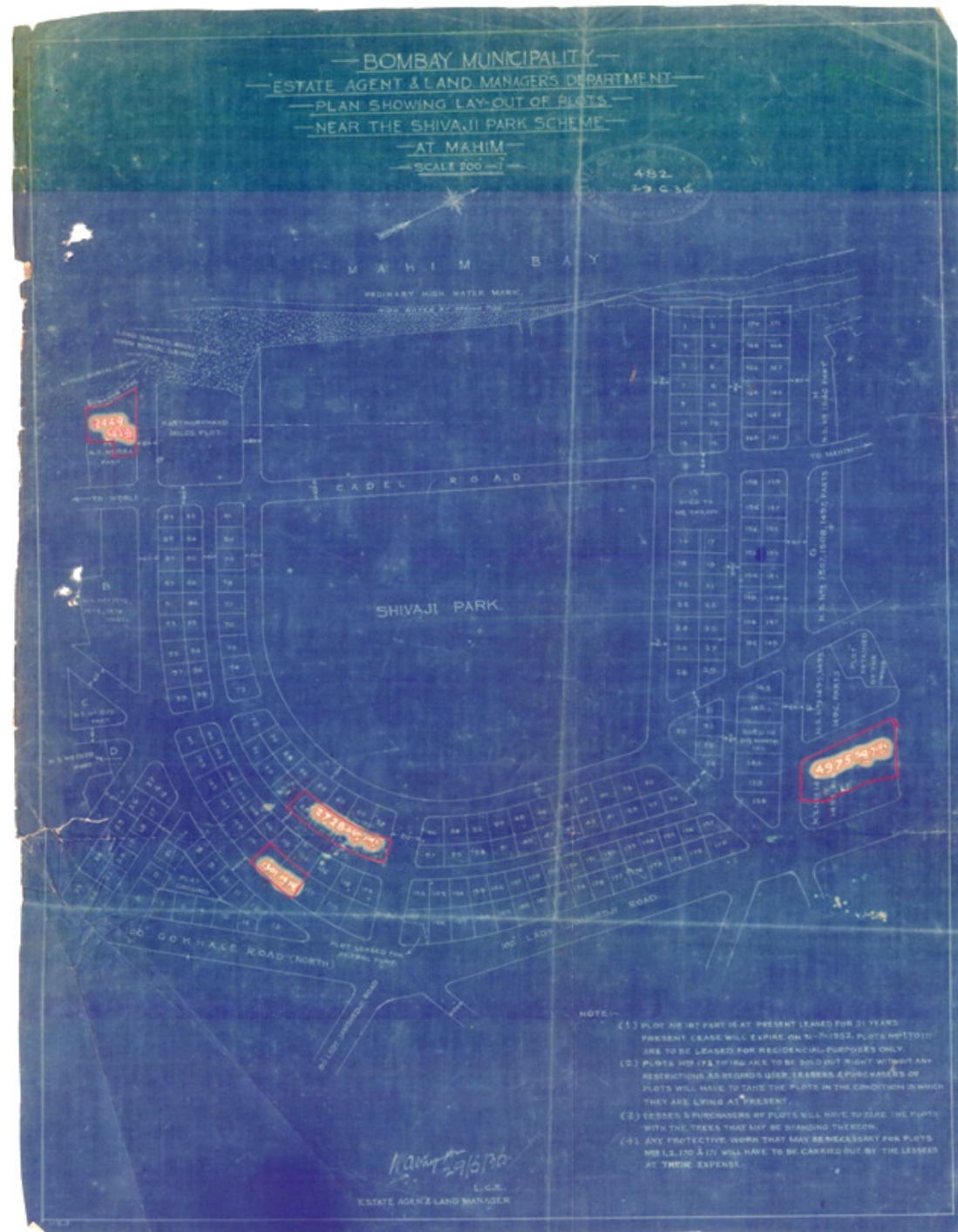
Status of the following attributes are examined :

1. Area of the plots
2. Footprints and relationship to the streets
3. Number of floors
4. Demolition and Reconstruction
5. Additions
6. Modifications
7. Conditions of the Buildings good/fair/poor
8. Architectural language: good/fair/basic
9. Road patterns
10. Avenues of the trees
11. Density of population

4.1. Area of the plots

Out of the 198 plots in the heritage precinct, majority of the plots are 66% are between 400 Sqm to 600 Sqm.
21% are less than 400 Sqm and
13% have areas above 600 Sqm.

If the current layout of the plots is compared with the original layout of the Scheme shown in the plan on the next page, no change in the plot sizes and the numbers are seen. There seem to be no apparent amalgamations of the plots except in a few reconstructed sites. (see the plan dated 29.6.1936 on next page)



'Shivaji Park Scheme, at Mahim'
Date on the Plan : **29.6.1936**

showing layout of plots
prepared by Bombay Municipality
Estate Agent and Land
Manager's
Department.

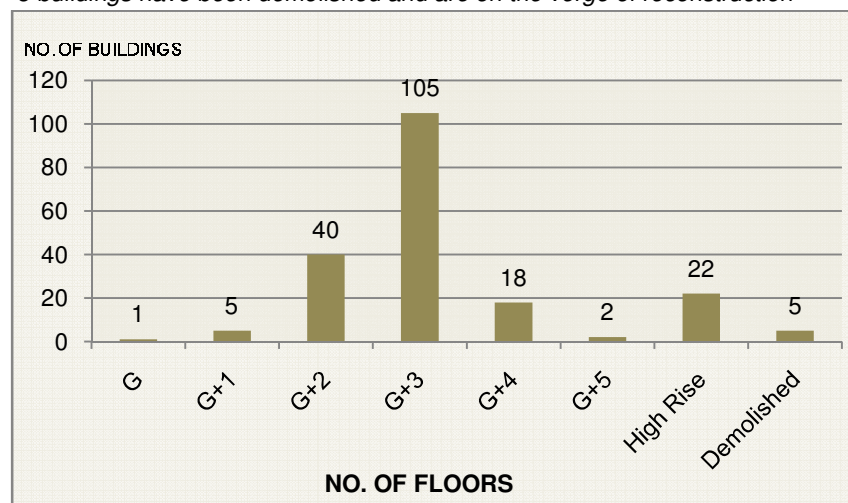
4.2 Footprints and relationship to the streets

The foot prints of the buildings as seen in the latest DP and as documented in the visual field survey are as per the original guidelines. The footprints have increased only in the buildings which are demolished and reconstructed. As a result the open space between the buildings has reduced. On the other hand the heights of the reconstructed buildings are increased 4 times as compared with the average G+3 buildings of the Precinct. This has also changed the relationship to the street widths.

4.3 Number of floors

No. of floors	No. of Buildings				
	Inner Ring	Middle Ring	Outer Ring	Western Segment	TOTAL
Ground floor only	0	0	1	0	1
Ground + 1 upper floor	2	2	1	0	5
Ground + 2 upper floors	13	13	9	5	40
Ground + 3 upper floors	22	39	30	14	105
Ground + 4 upper floors	2	7	6	3	18
Ground + 5 upper floors	0	1	1	0	2
More than G+7 upper floors (Reconstructed High Rise bldgs)	0	13	4	5	22

**5 buildings have been demolished and are on the verge of reconstruction*

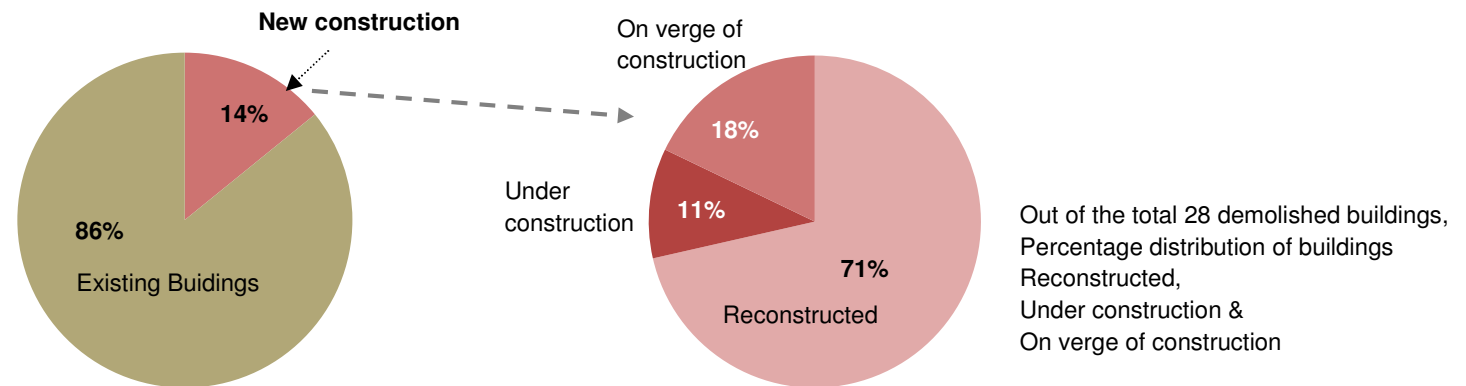


This shows that the basic low rise character of the precinct is preserved except for the newly reconstructed and under construction buildings.

The new constructions are only 14% of the total buildings in the Heritage Precinct.

4.4 Demolition and Reconstruction

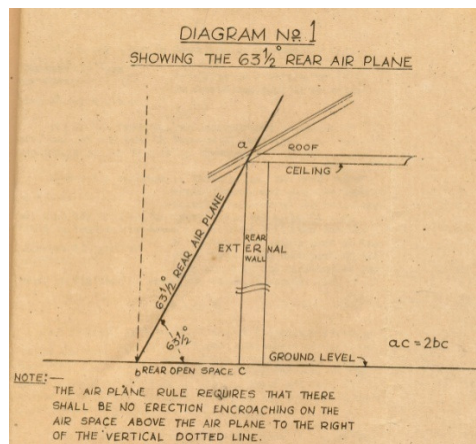
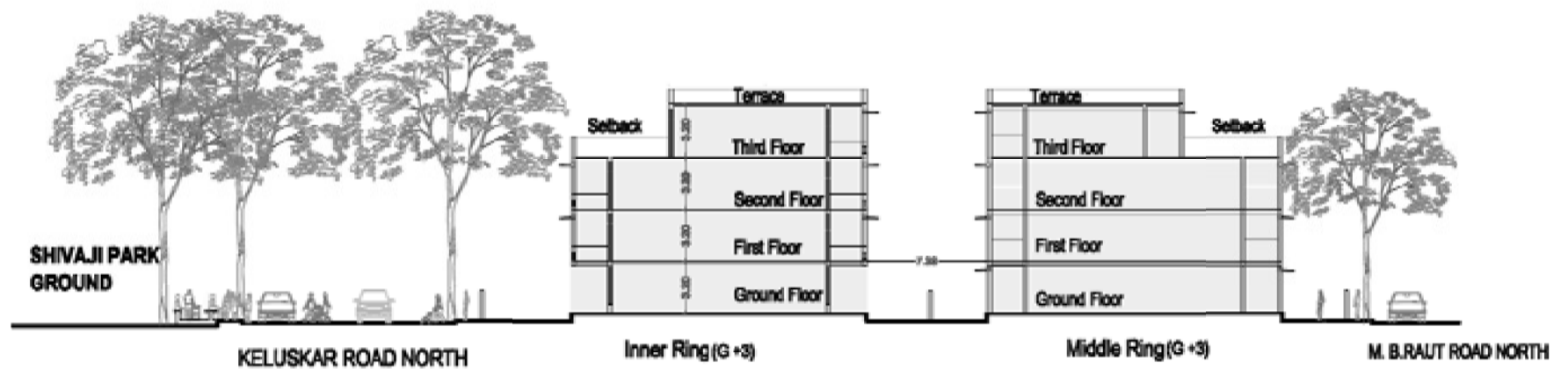
Of the 28 buildings which are demolished and are under reconstruction, 20 are already reconstructed, 3 are undergoing construction and 5 are on the verge of undergoing reconstruction. These are all more than Ground + 7 storey constructions. These buildings have changed the streetscape character drastically. (See drawing of street scape at the end of the section). So far only 14% of the buildings within the Heritage Precinct are in this category. However if reconstruction is allowed in the same manner, the entire precinct character would be drastically and adversely affected.



4.5 Additions

88 buildings in the Precinct out of 198, have added one or two more floors over the existing building. Further it is observed that of these, 23 have built the top floor with a setback on the road side i.e. the floor is recessed from the face of the building on the side abutting the road. Thus the in a number of such cases the additional floor is not easily visible when walking along the road thus retaining the visual character of the building and thereby of the overall precinct. See drawing and photos on next page.

Of the 88 buildings in this category, 47 have constructed the additional floor/s without constructing additional columns and beams outside the building line. Even in case of buildings where new columns have been constructed, most have done so in the side open spaces and left the front space intact. Hence the existing architectural features are left unobliterated.



63.5 deg angle prescribed by earlier Bye-laws to ensure light & ventilation to the lowest floor



Front view - Additional floor not visible from the road, keeping the streetscape



Side view - Additional floor seen having a setback



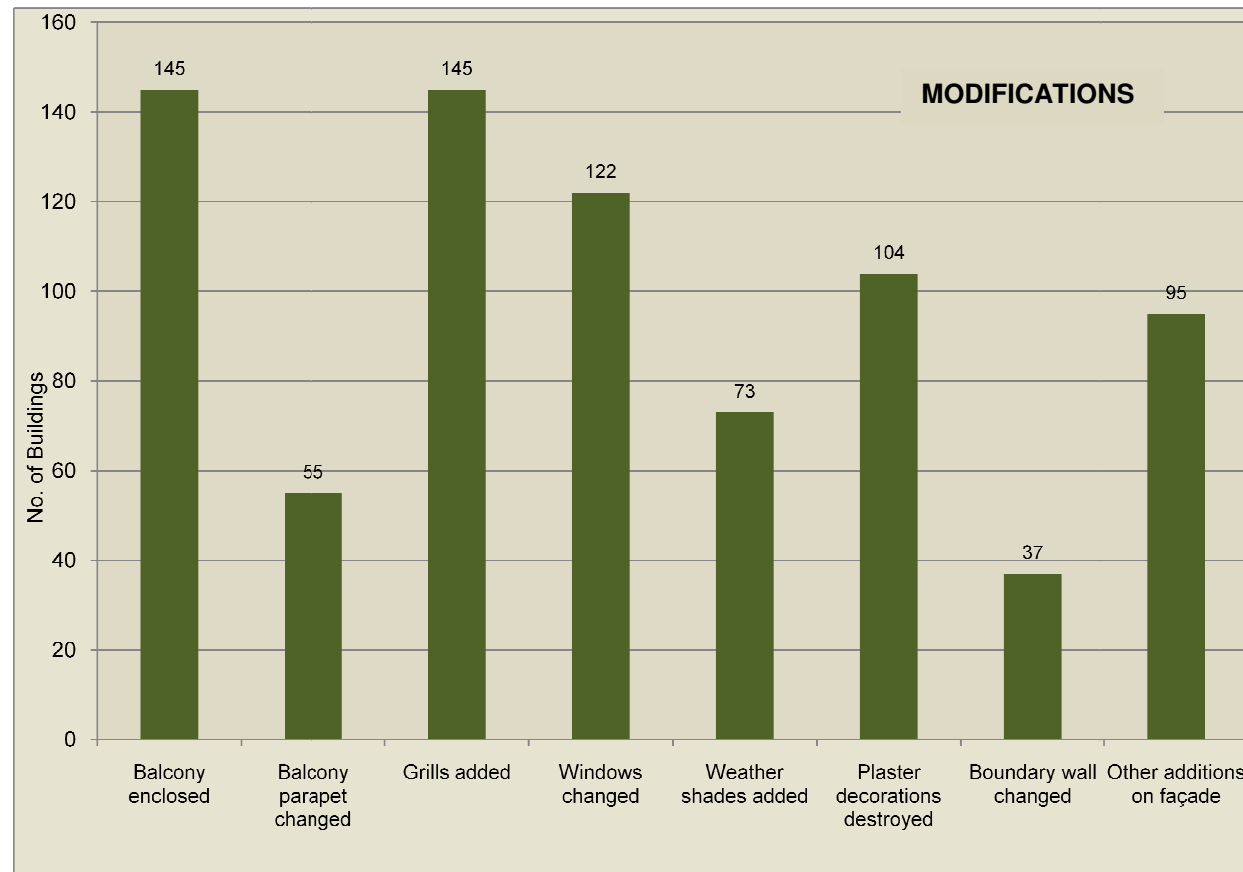
ADARKAR ASSOCIATES

4.6 Modifications

Most of the buildings have undergone some kind of modifications. Most predominant of these modifications are:

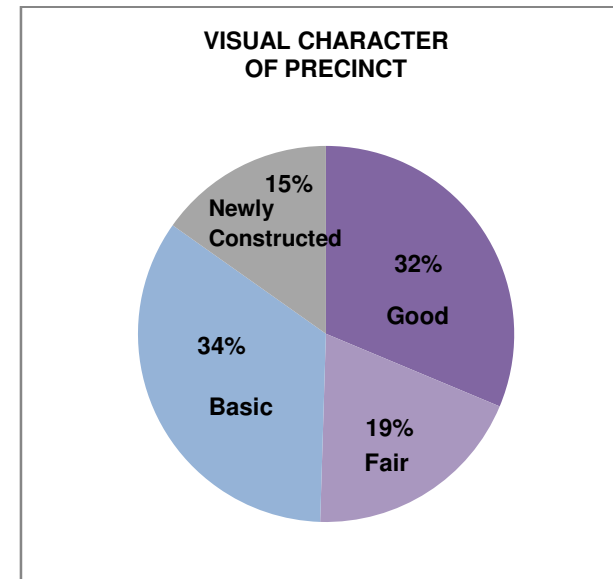
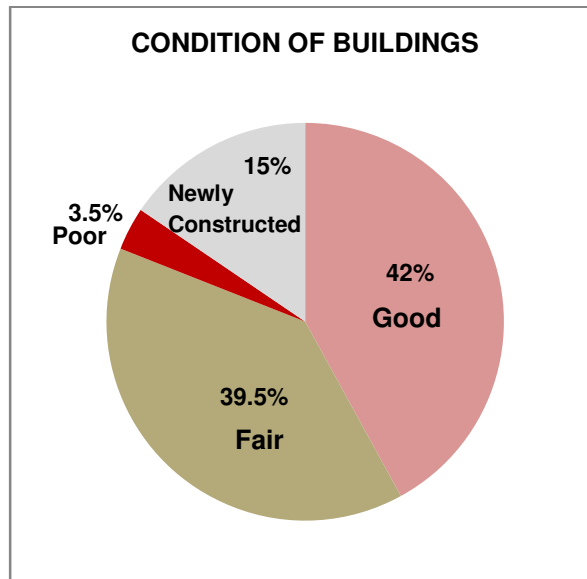
- a. enclosure of balconies
- b. additions of grills
- c. change in design of windows

Although modifications affect the external architectural character of the building, they do not alter the scale and the proportion i.e. the relation of the building with the other components of the Precinct.



4.7 Conditions of the Buildings: good/fair/poor (see criteria and photos in methodology section)

It is found that 78 out of 198 buildings of the Precinct i.e. around 39% are in Fair condition. 83 buildings are in good condition and appear to be well maintained. They account for 42% of the total buildings. Only 3.5% i.e. 7 buildings appear to be in poor condition.



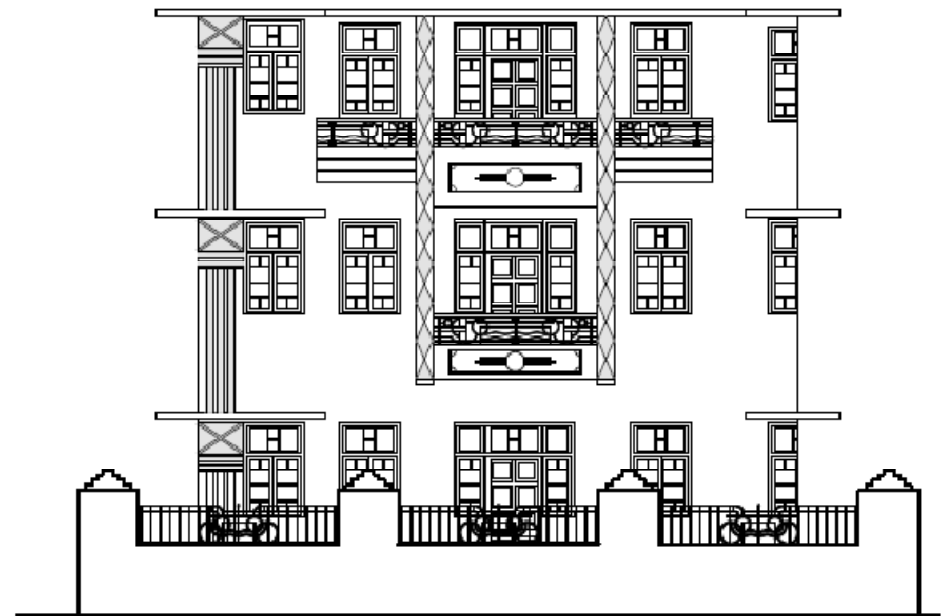
4.8 Architectural language of Precinct: good/fair/basic (see criteria and photos in methodology section)

Of the 198 buildings, 62 display good Precinct character and 38 buildings have fair character. Buildings displaying only the basic character of scale and proportion but not particularly of any architectural features are 68 in number.

Architectural Language of the Precinct



Architectural Language of the Precinct



4.9 Green Cover and Avenues

The green cover is provided by the trees planted along the streets to create shaded avenues in the Precinct. However Keluskar Road North and South and M.B. Raut Road is disturbed in the stretches where new high rise buildings are constructed. The vegetation appears to be very less near these high rise buildings as seen below.

Vegetation



Loss of greenery is evident in stretches which have newly constructed buildings.

In all other areas of the Precinct a continuous line of trees is seen on both sides of the roads.



4.10 Street Pattern

The pattern of the streets within the Heritage Precinct were planned and executed in response to the shape of the Shivaji Park ground which existed before the Shivaji Park Scheme. The streets follow the curve of the ground in three concentric curvatures and the intersecting streets follow the radial geometry. This can be seen very clearly in the BMC map drawn in 1933. Further the widths of the streets acted as an index to determine the heights of the buildings and therefore the density of the population in all the suburbanisation schemes executed in the early decades of the 20th century. (Nikhil Rao). This pattern and the widths of the streets which act as the spines of the Heritage Precinct are unchanged till date.

4.11 Population Density

As mentioned in point 9, the suburban schemes were planned with an objective to cater to a specific density and the built form resulted out of that objective. The number of floors were basically restricted to G+2. Later post 1947s, in the post partition yrs one/two floors were allowed to be added but only with necessary set backs on the existing terrace. This increased the density only marginally.

However if the density is computed by the number of floors added after reconstruction of the already demolished buildings only 28 in numbers, the density increases by 47%. If all the buildings in the heritage precinct of Shivaji Park are demolished and reconstructed, even with a modest assumption of only G+7 floors, the density will increase by 315% over what was planned for the Shivaji Park Scheme.

This increase in density of population by more than 3 times the existing density will not be sustained by the existing widths of the roads and infrastructure. The Supreme Court Judgement of November 2013 refutes such adverse effects by specifically referring to Shivaji Park.

In our view, there is a need to restrict the additional pressure on existing infrastructure so that it does not affect the quality of life. The existing social infrastructure like educational institutions, open spaces, hospitals etc, and physical infrastructure like water supply and drainage is already over-burdened.

It is necessary that while granting exemptions from DCR 31(1), there must be a scheme-wise approach, and there ought to be a proper supervision of the construction. These development schemes and the additional FSI thereunder, should be examined locality-wise. The impact of such high-rise buildings on the adjoining locality as well as on the traffic, is required to be examined before granting such permission. (from paragraph 54 and 53 from the judgement.see annexure 2)

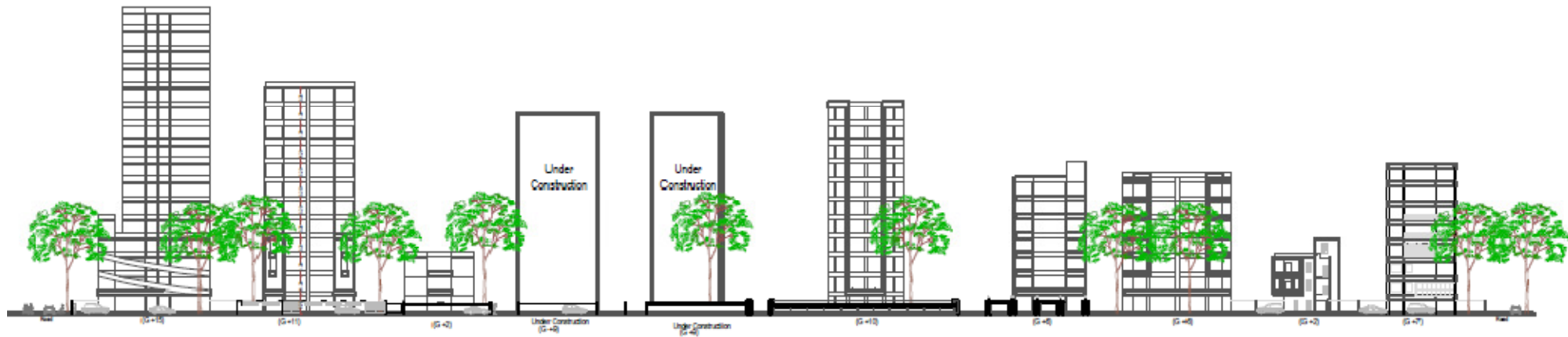
(see drawings of comparative streetscape on the next page)



Existing Elevation of Keluskar North Road (1)



Schematic Section showing Undesirable effect to the Elevation if higher Reconstruction is allowed.



Existing Streetscape of Middle Ring North M. B. Raut Road.



Schematic Elevation showing Proposed Height limit in case of Reconstruction. (Middle Ring North, M. B. Raut Road.)

GUIDELINES

5.0 Bases of proposed guidelines

6.0 Guidelines

5.0 BASIS OF THE PROPOSED GUIDELINES

The following data forms the basis of the recommended guidelines for Shivaji Park Precinct:

1. Findings of the field documentation of the existing Shivaji Park Heritage Precinct
2. Regulations/Guidelines stipulated by BCIT and BMC on the suburban planning schemes
3. Terms and conditions of the Lease Deed by BMC in the 1930s for leasehold plots in the vicinity of Shivaji Park
4. The Draft Revised D.C. Regulation no. 67 (Revised Heritage Regulations for Greater Mumbai) prepared by MHCC and forwarded to the Govt. of Maharashtra vide their letter dated 01.04.2013
5. Supreme Court Judgement (November 2013) on the case 'MCGM & others vs Kohinoor CTNL Infrastructure Company Private' - Clauses 50 to 54 specially with respect to the strictures against the newly reconstructed projects which would affect the quality of life of the existing population in Shivaji Park neighbourhood.

5.1. Regulations for the Suburban Schemes in early 20th century.

In the first Municipal bye laws enacted in 1888, critical issues like the height of the building, width of the streets, setback from the streets and ventilation were addressed. The Bombay City Improvement Trust added on to these bye laws and prepared guidelines specifically for its suburban schemes planned in the northern edge of the Island City.

These schemes as described earlier in the report (under 2.1 - Urban History section) were executed by acquiring agricultural land for urban usage. Based on the vision of the garden suburbs of Europe the suburban housing projects were planned mainly to attract the middle class population from the crowded tenements of southern parts of the Island city. The BCIT aimed to create a better living environment by regulating the Built Form through the heights of the buildings in relation to the streets, footprints, setbacks and marginal open spaces in the Dadar Matunga Sion schemes.

As mentioned earlier The 'Shivaji Park Scheme, Mahim' like the earlier suburban housing schemes built in the second and third decades of the 20th century also followed the regulations under the Bombay Municipal Corporation under the ownership of Shivaji Park till date. But it had an added specific reference. The layout is created with a specific relationship to the Shivaji Park ground and it falls within the sphere of spatial influence of the ground. There was a comprehensive idea of a built form in relationship to a streetscape in the original vision. Further the regulations on the built mass created a specific population density and therefore certain infrastructure to cater to it.

All these aspects are intrinsically connected and any drastic change could affect the quality of life of the residents. Realising this danger, the BMC in the 1930s, ensured the implementation of the controlled development by making the Lease agreement only after the building was constructed as per the regulated height and the footprint. Further the Lease agreement included a long list of conditions in its lease document with a written threat that the Municipal Commissioner could cancel the lease if any of the conditions were overruled.

5.2 Some of the important guidelines followed in the suburban housing schemes planned in early 20th century:

1. Each building has to have a footprint smaller than the plot by keeping open margins upto the compound wall.
2. The height of the building would be only Ground + 2 storeys. This follows the 63^{1/2} degrees angle extended from the edge of the plot (see figure earlier in section 4) to ensure adequate light and ventilation upto the ground floor flat.
3. The occupation of the plot would be around one third of the plot (thus G+2 would consume approximately Floor Space Index of 1).
4. The compound wall to be of 5' height on the rear side, however on the front and on the sides of the plot a only a dwarf wall with a provision of a grill is required.
5. Most important condition was that Lease Agreement would be executed only AFTER the building was constructed as per the guidelines, and not after the land was handed over. Further the Agreement would have mandatory guidelines for repairs and maintenance. (listed in the proposed Guidelines for Shivaji Park heritage precinct)

These measures taken by the then Planning Authorities like the BCIT and BMC, shows that there was a definite idea behind these schemes to endorse a certain quality of life to the middle class population shifting northwards from the congested southern parts of the city. This was achieved through a controlled density within these the middle class neighbourhoods. All the parameters mentioned above and in the Findings have contributed to the realization of that idea. In addition, the evolution of a shared cultural consciousness led to an integrated precinct which has shaped a sense of pride in the residents of the Shivaji Park. All these parameters form the basis for planning sensible guidelines for the future alterations within the precinct.

6.0 GUIDELINES FOR CONSERVATION OF SHIVAJI PARK HERITAGE PRECINCT

6.1 General Guidelines for Precincts proposed by MHCC

General Guidelines for Precincts as per the Draft Revised D.C. Regulation no. 67 (Revised Heritage Regulations for Greater Mumbai) prepared by MHCC and forwarded to the Govt. of Maharashtra vide their letter dated 01.04.2013. All these Guidelines for Precincts shall be applicable to Shivaji Park Precinct.

1. Reconstruction is permissible but only for buildings which are totally structurally unsafe as certified by a licensed Structural Engineer and corroborated by MHCC.
2. The Reconstruction should not follow the prevailing bye-laws but should be governed by the Precincts Development Guidelines or in accordance with the directions of the MHCC based on the documentation available with MHCC, which ensures that the precinct character is not diminished but allows for good growth and urban design.
3. Essential structural and non-structural repairs shall be allowed for structural stability while retaining original architectural features.
4. In heritage precincts NOC of Heritage Committee is not required for interior works involving non-structural changes.
5. In all cases of maintenance /addition of floors / reconstruction, Appendix VII A (regarding grant of TDR as compensation to owners / lessees of buildings in heritage precinct) of the Draft Revised D.C. Regulation no. 67 prepared by the MHCC shall apply.

6.2 Specific Guidelines for Shivaji Park Precinct

The specific Guidelines recommended for Shivaji Park Precinct have been formulated with special attention to:

- i) Present condition of the buildings in the precinct
- ii) Future development in the precinct
- iii) Compensation to counter 'loss of opportunity' due to restrictions on development in the precinct

The Guidelines are suggested for:

1. Maintenance and Repairs of existing buildings
2. Addition of floors for existing buildings
3. Reconstruction in the event of dilapidation

6.2.1 Guidelines for Maintenance & Repairs as per the BMC lease agreement for Shivaji Park

1. The ownership of Shivaji Park rests with MCGM. The plots were leased to the Lessee for 999 years. The original lease document for leasehold plots in the development around Shivaji Park ground specifies certain Terms & Conditions for Maintenance of buildings.

Further, *Clause 19 of Draft Revised DCR 67* states that restrictions imposed / terms and conditions included in the original lease document for leasehold plots shall continue to be imposed. They are:

- a. No portion of the un-built portion of land shall be used for any purpose other than as garden or open space without the consent of the Municipal Commissioner
- b. Nothing shall be stored or placed on the un-built portion of the land at any time, except with the permission of the Municipal Commissioner.
- c. No building on the plot shall be pulled down, added to or altered at any time except with the permission of the Municipal Commissioner.
- d. No otla shall be enclosed.
- e. All fences, building walls, sanitary conveniences shall be upheld, repaired, cleansed, painted and amended.
- f. All stone cladding work shall be cleansed and treated with a colourless liquid preservative once in 10 years.
- g. No advertisement / display / sign boards shall be erected, fixed or displayed without the permission of the Municipal Commissioner.
- h. No sun shades / weather shades shall be fixed on any part of the building except in accordance with the pattern approved by the City Engineer.

2. No structural and / or non-structural repairs to the buildings shall be carried out without the approval of the MHCC. However, no such approval from MHCC is necessary for any non-structural interior works. However, all mandatory approvals required for repairs, whether external or internal, shall be obtained from MCGM and / or any other authority as necessary.
3. In order to retain the original precinct character, the original outer form of the building – materials used, shapes, textures etc. shall not be altered in any way. Similarly, the original floor plate of the building at every level shall be unaltered. The profile of the building especially curved corners shall be kept intact.
4. Following are the ‘Dos and Don’ts’ in addition to the terms and conditions for maintenance mentioned above.
 - a. No balconies shall be allowed to be enclosed
 - b. Balcony parapet walls and especially the decorative grills / panels shall be retained
 - c. The material and / or design of the windows shall not be altered
 - d. No box grills shall be allowed for any building of the precinct. However, grills of approved design compatible with the Art Deco features seen in the precinct and approved by MHCC shall be permitted.
 - e. Original external stone or other cladding shall be kept intact and shall not be painted over.
 - f. Decorative plaster bands, motifs, grooves and other features shall be retained
 - g. For external painting, only pastel shades shall be permitted.
 - h. Stability certificate shall be issued by a structural consultant from the approved panel of consultants prior to commencing any repair works.
 - i. The works shall not in any way harm the character of the building and shall adhere to prescribed streetscape elevations.

6.2.2 Guidelines for Additions

Addition of floors shall be governed by the following guidelines:

1. Construction of additional floors shall be permitted only if there is structural capacity for such additions in the existing building. Structural audit shall be carried out through a licensed structural engineer by owners of buildings seeking permission for additions to their buildings.

2. Additional floors may be permitted to be constructed subject to maximum G+4 upper floors.
 3. In case of construction of additional floors for G or G+1 buildings, the additional floor/s except the 3rd and 4th upper floors shall follow the footprint of the ground floor.
 4. The 3rd upper floor shall have a setback of minimum 2m from the building line facing the road. The pocket terrace so formed shall not be included in the computation of built-up area of the floor. The terrace shall at all times be kept open to sky. However, an awning projecting not more than 1.2m from the building line at 3rd floor shall be permitted for protection from weather.

The 4th upper floor shall have the same setback as the 3rd upper floor i.e. their building lines shall be the same.
 5. In case of buildings on corner plots (i.e. those abutting more than one road), the setback mentioned above is required to be provided only from the following roads:
 - i. Keluskar Road North
 - ii. Keluskar Road South
 - iii. M.B. Raut Road
 - iv. Pandurang Naik Marg
 - v. Justice Ranade Marg
 - vi. Dadasaheb Rege Marg
 6. For buildings abutting Lady Jamshetji Road, it shall not be mandatory to provide a setback at the third floor.
 7. The maximum floor height of any additional floor shall be 3.2m.
 8. Locations as well as heights of lift shafts, lift machine rooms, staircase cabins, overhead water storage tanks and any other features above the terrace slab shall be as approved by the MHCC.
 9. All exterior details of additional floors shall be in concurrence with the general architectural character of the precinct.
- Guidelines '1 & '3' mentioned under 'Guidelines for Maintenance and Repairs' shall also be applicable to buildings undergoing addition of floors.

6.2.3 Guidelines for Reconstruction

Reconstruction is permissible only for buildings which are certified as structurally unsafe, by a licensed Structural Engineer and corroborated by MHCC. However, such reconstruction shall be as per the following guidelines.

No. of floors / Height of buildings

1. Any building in the precinct, except those abutting Lady Jamshetji Road, shall be permitted to be reconstructed to a height of not more than ground and 4 upper floors.

The buildings abutting Lady Jamshetji Road shall be permitted to be constructed to a height of 21m.

2. The maximum permissible floor height in the reconstructed building shall be 3.2m. The maximum permissible plinth shall be 1.2m .

3. Buildings to be reconstructed on Lady Jamshetji Road shall have the following maximum heights:

- a. Plinth – 1.2m
- b. Floor height for shop on ground floor – 3.8m
- c. Floor height for upper (residential) floors – 3.2m

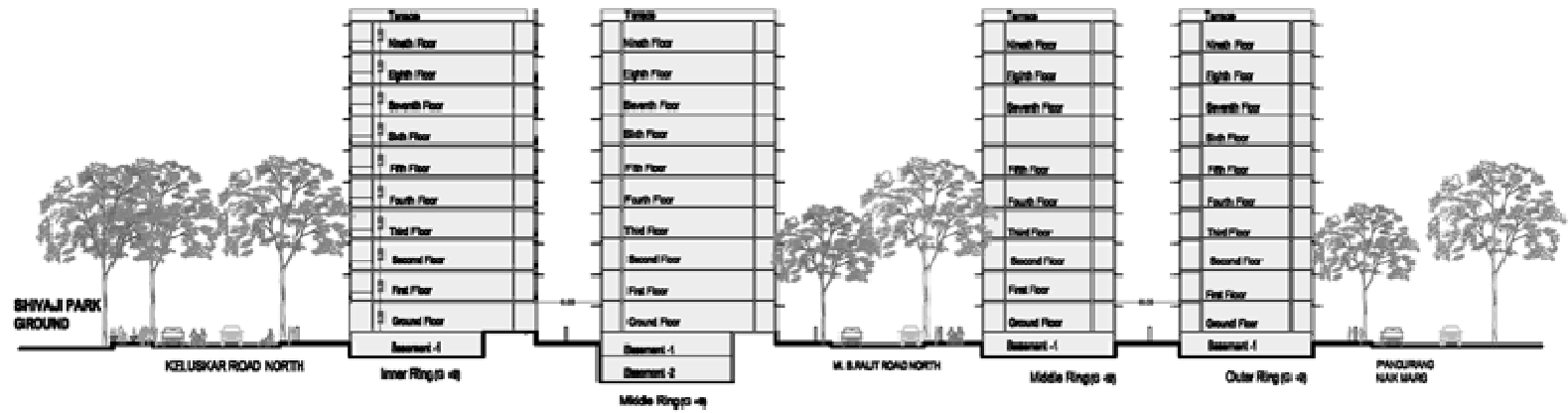
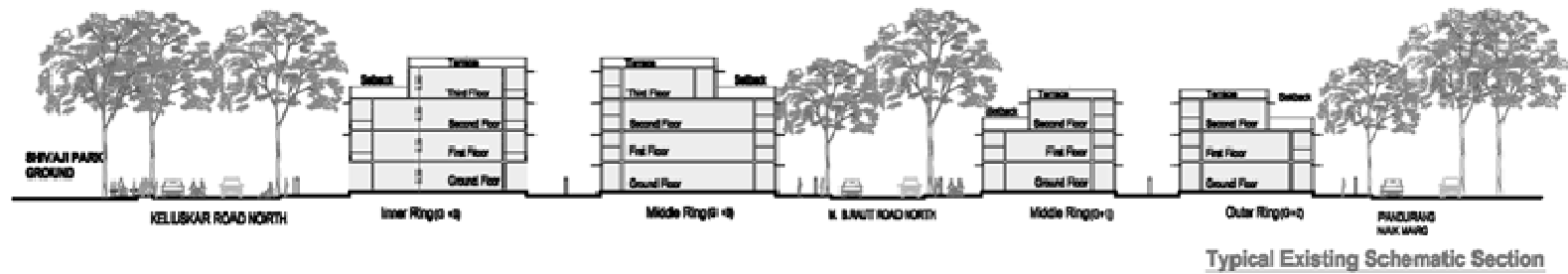
4. The 3rd upper floor shall have a setback of minimum 2m from the building line facing the road. The pocket terrace so formed shall not be included in the computation of built-up area of the floor. The terrace shall at all times be kept open to sky. However, an awning projecting not more than 1.2m from the building line at 3rd floor shall be permitted for protection from weather. The 4th upper floor shall have the same setback as the 3rd upper floor i.e. the building lines on both floors shall be the same.

5. The guidelines for setbacks on 3rd and 4th upper floors for buildings on corner plots shall be the same as given those mentioned under 'Guidelines for Additions'.

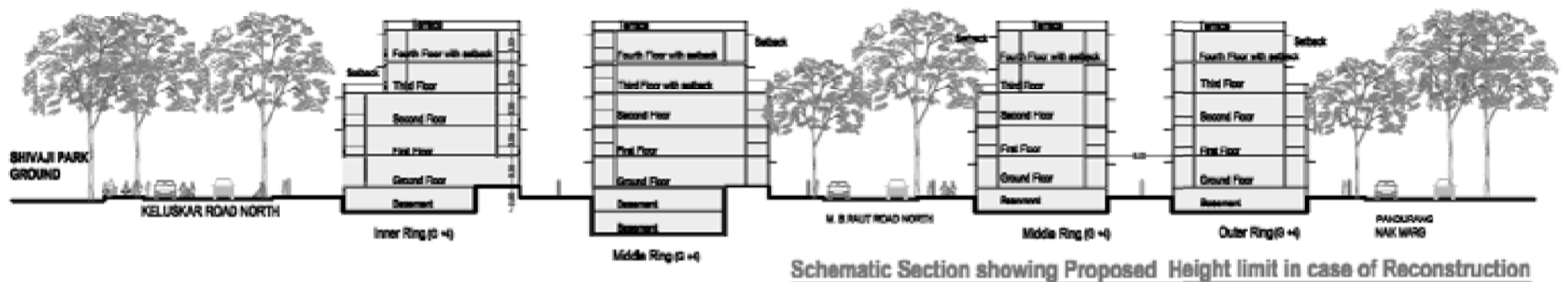
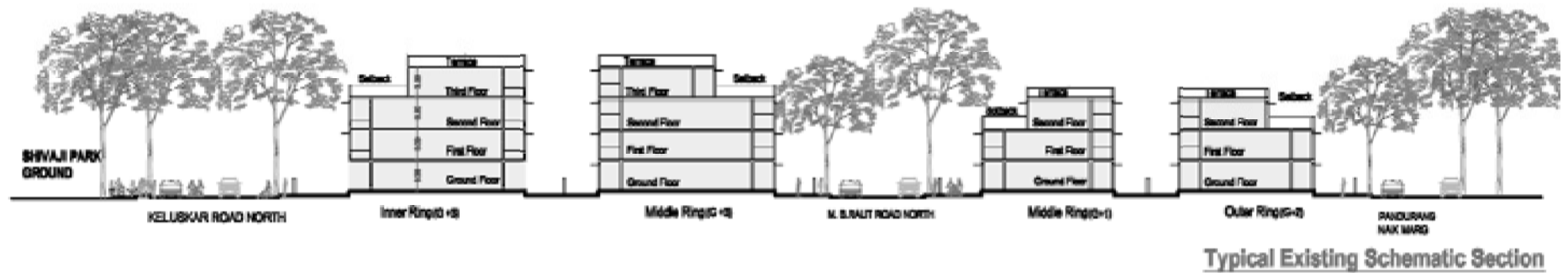
6. The guidelines regarding the pocket terrace formed by setback, provision and design of awning etc. shall be the same as those mentioned under 'Guidelines for Additions'.

7. For buildings abutting Lady Jamshetji Road, it shall not be mandatory to provide a setback at the upper floor/s.

Existing Development and
Reconstruction with higher floors



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Parking

1. Parking requirement shall be condoned / relaxed in the Precinct.
2. A maximum of two level basement with provision of car lift with / without 'puzzle parking' shall be permitted for parking.
3. Amalgamation of two or more plots shall be permitted only to the extent of basement level and in no case for the super-structure, in order to maintain the proportion of buildings.
4. No stilts shall be permitted for any building in the precinct.

Margins

1. The compulsory marginal open spaces for buildings on any plot shall be as follows:
Front (road side): 4.5m
Sides: 4.5m
Rear: 3.0m
2. A cantilevered balcony projection of 1.2 m from 1st floor onwards shall be permitted in the front and side open spaces.

Lifts

1. Lifts shall be permitted in the reconstructed building.

User

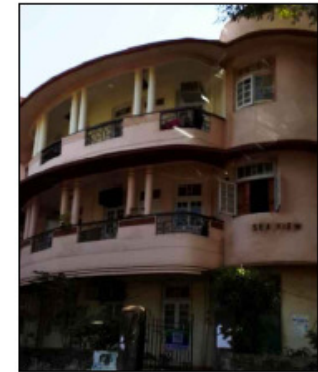
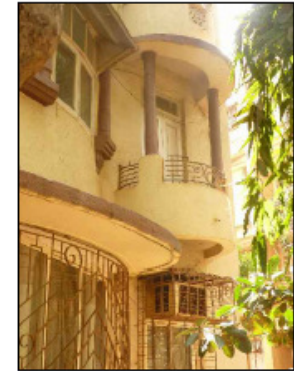
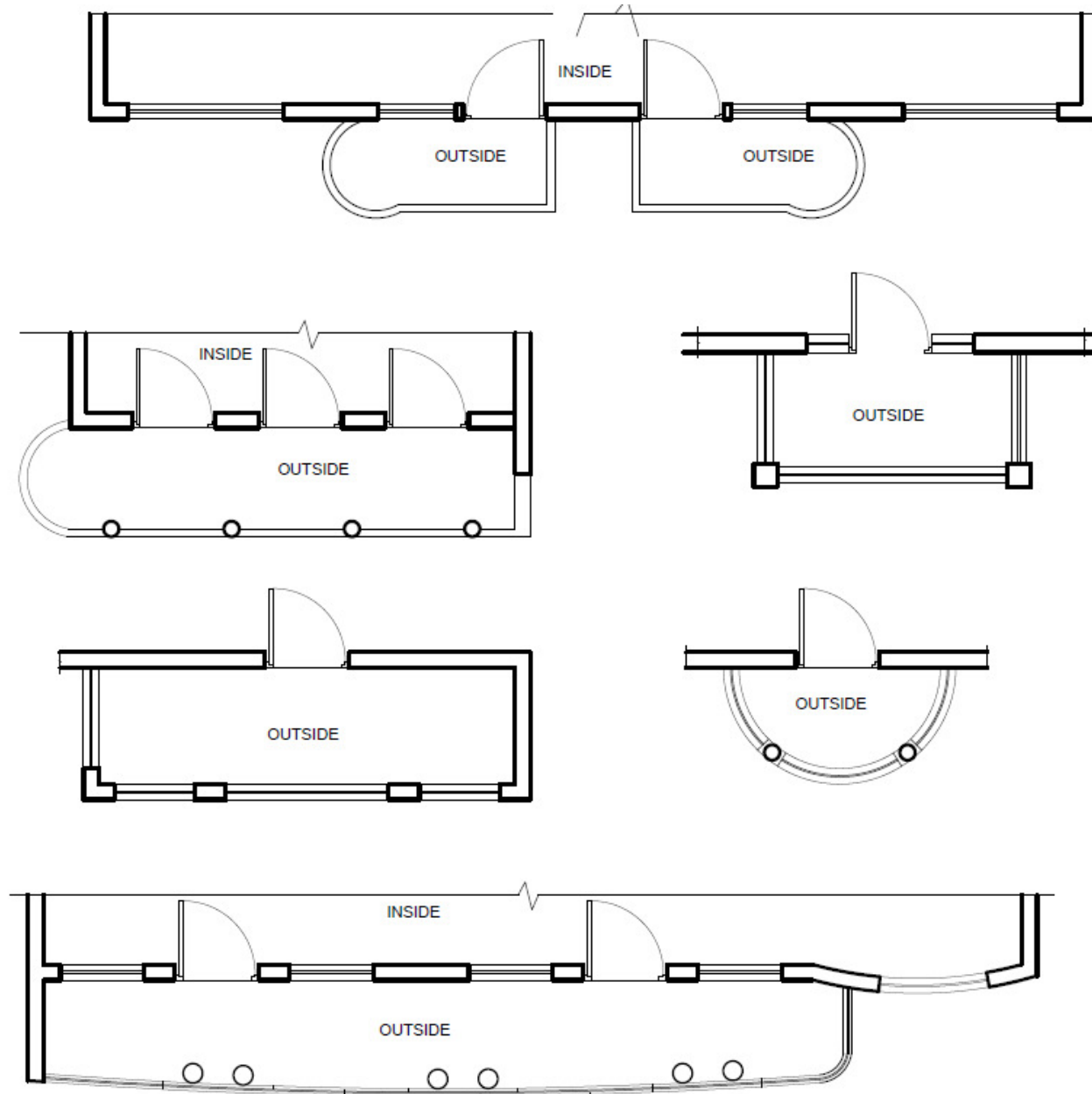
1. No commercial establishments shall be permitted for any of the buildings except for those abutting Lady Jamshetji Road.

External features

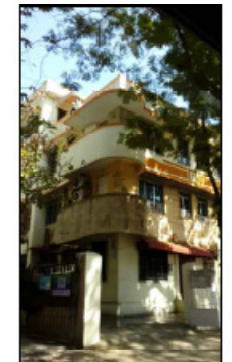
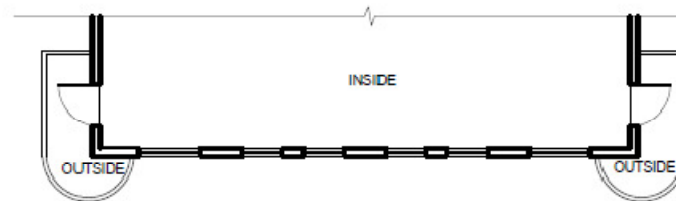
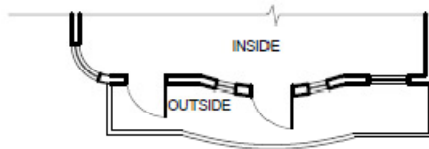
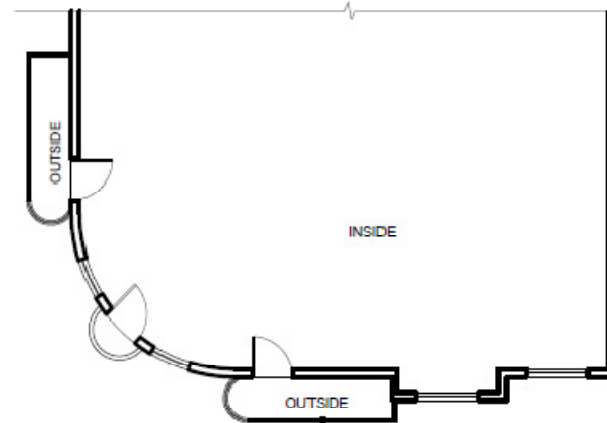
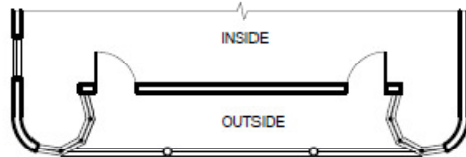
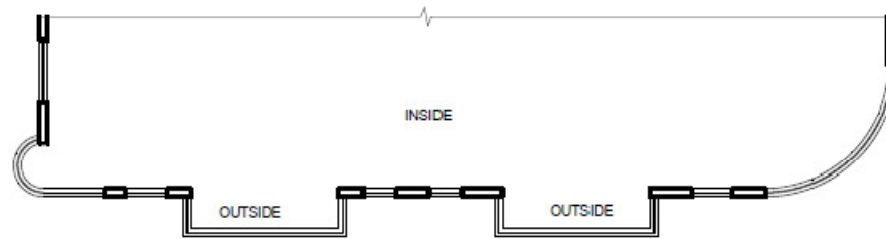
1. In order to maintain the streetscape, the owners shall select features from a number of existing building characteristics pertaining to:
 - a. Building 'skin'
 - b. Balcony / Loggia
 - c. Openings
 - d. Boundary walls & Gates
 - e. Balcony Railings

Some examples of each of the above are given below. The elevations and details shall be submitted for approval to MHCC at the time of applying for building permission.

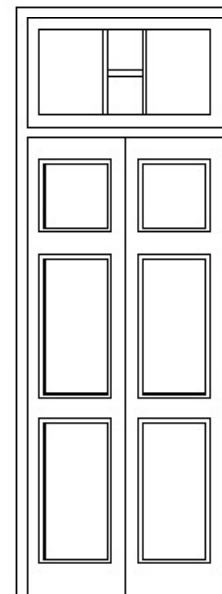
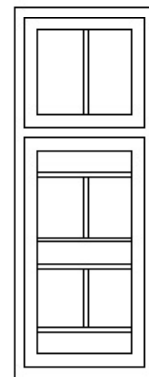
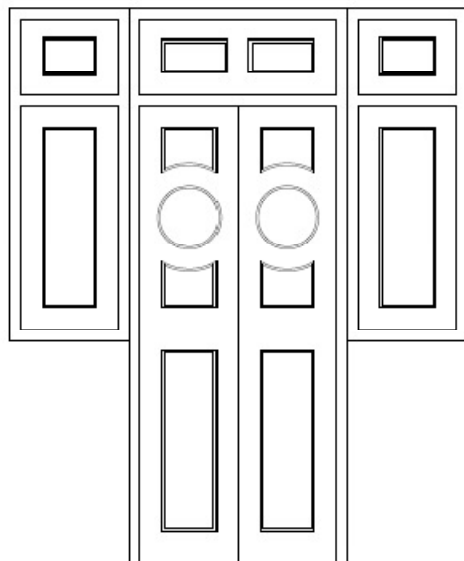
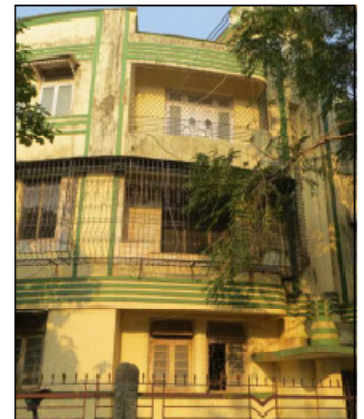
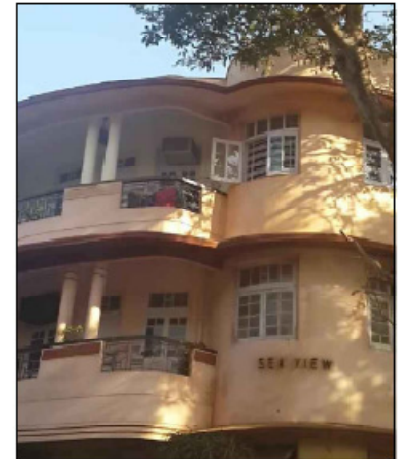
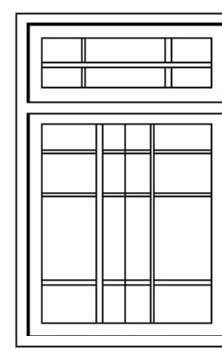
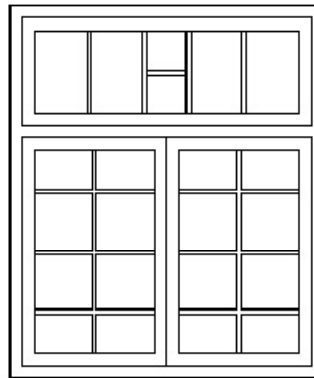
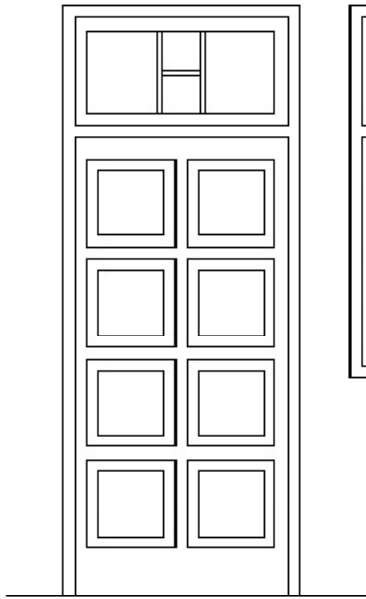
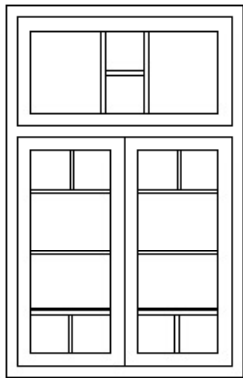
Balcony/Loggie



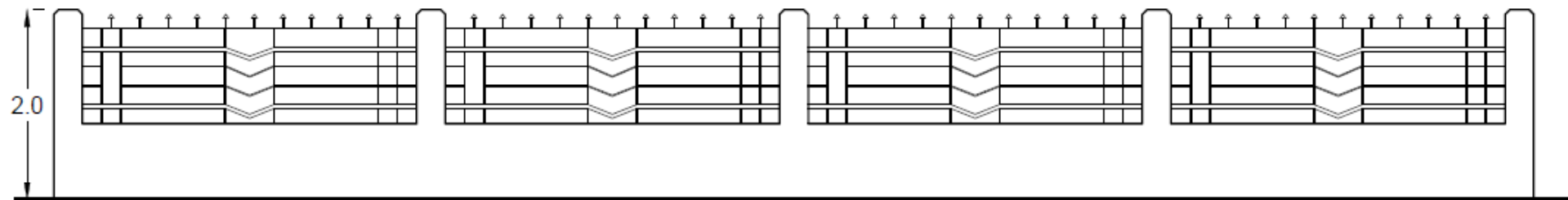
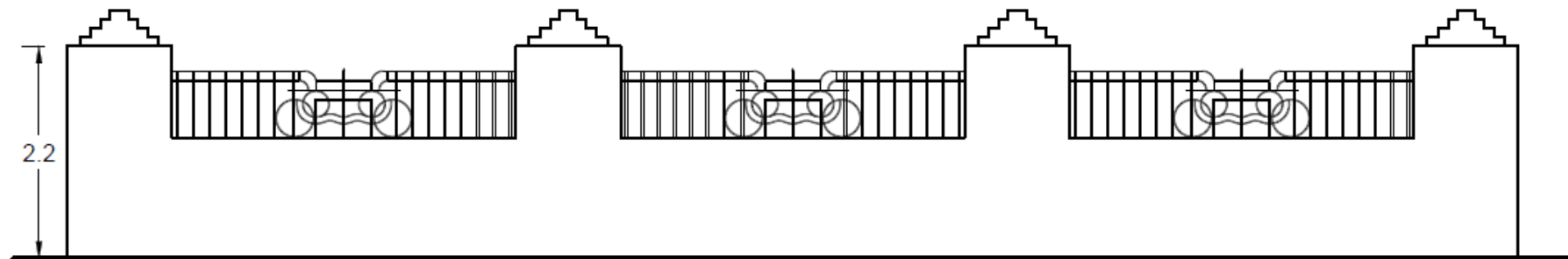
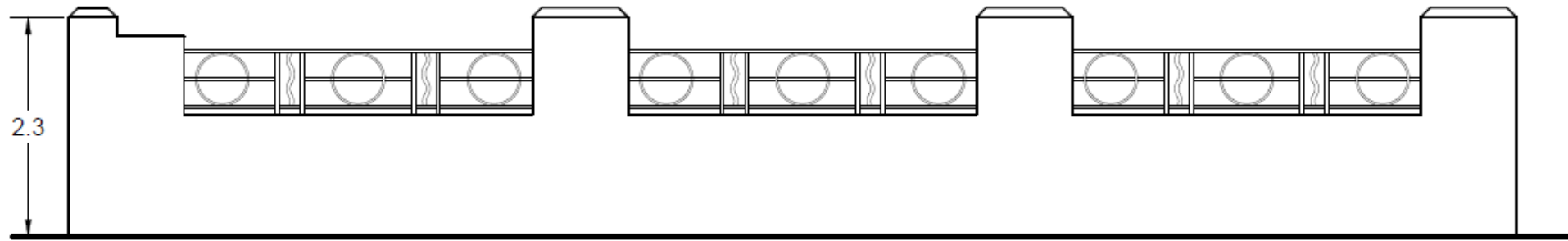
Building skin – Curved profile



Openings

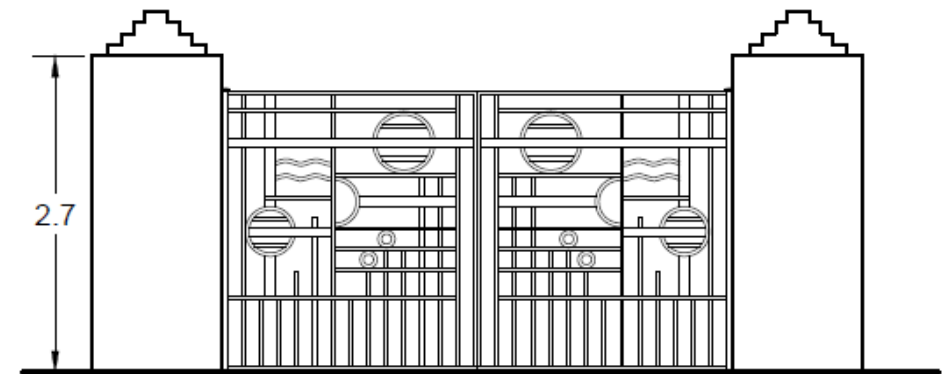
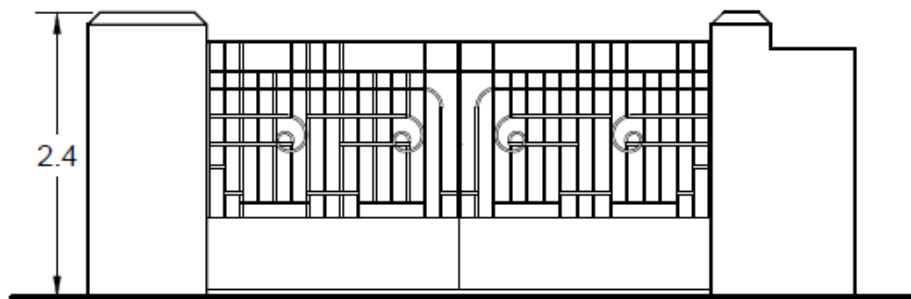
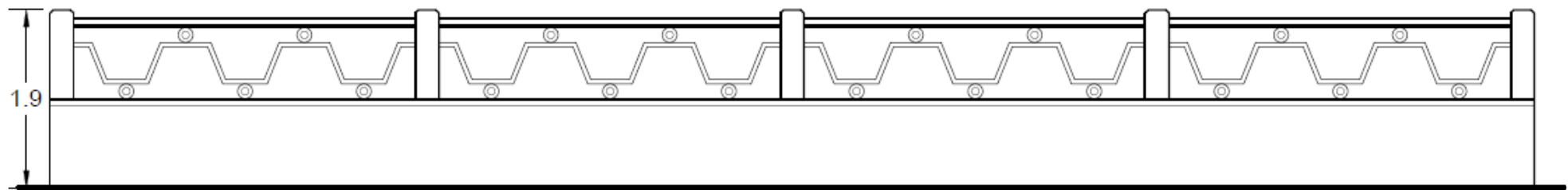


Boundary walls and Gates



Note : Dimentions are in meters

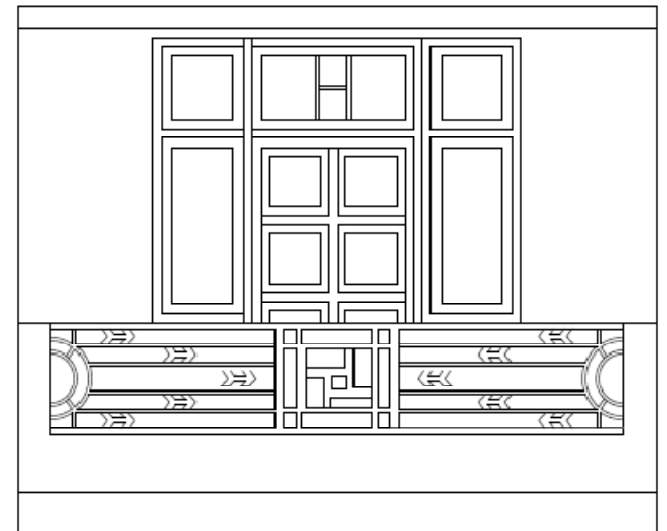
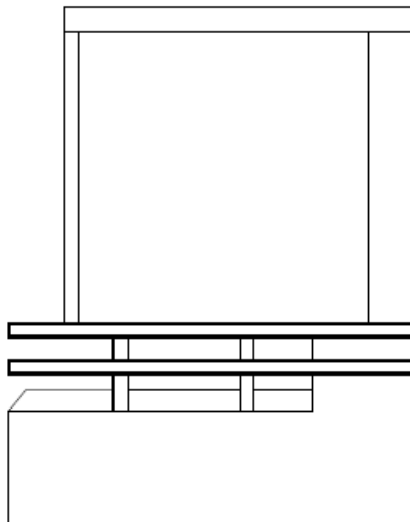
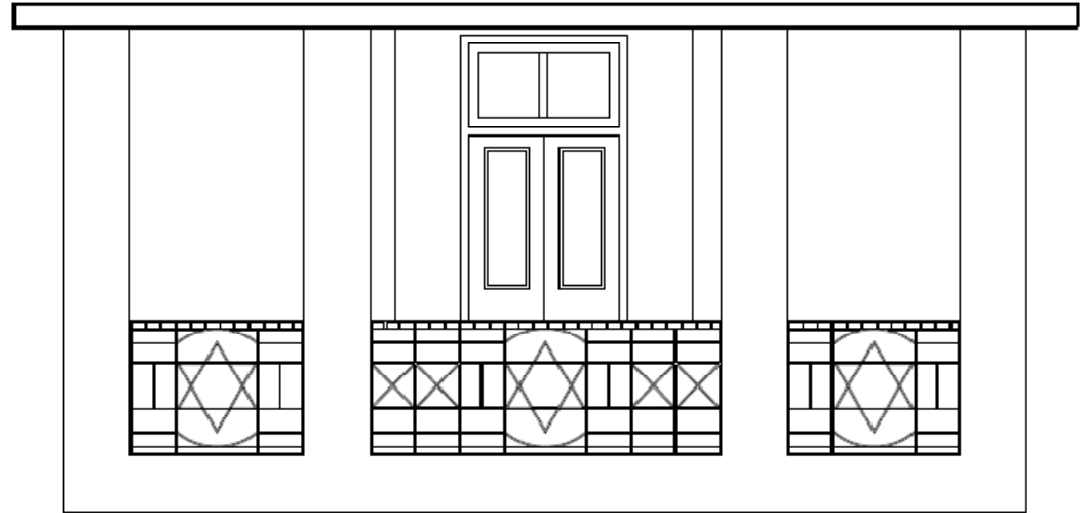
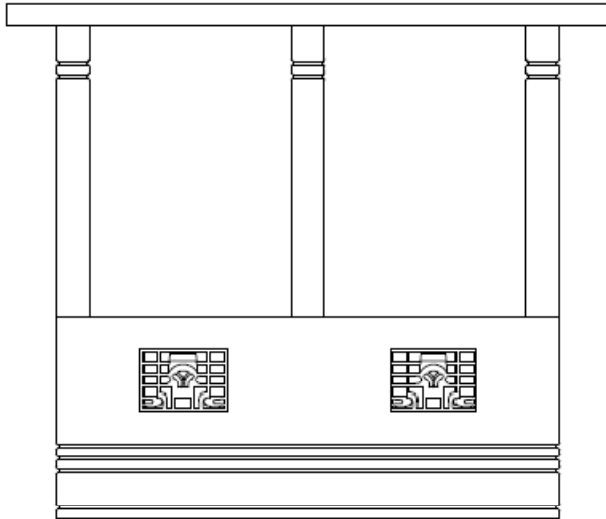
Boundary walls and Gates



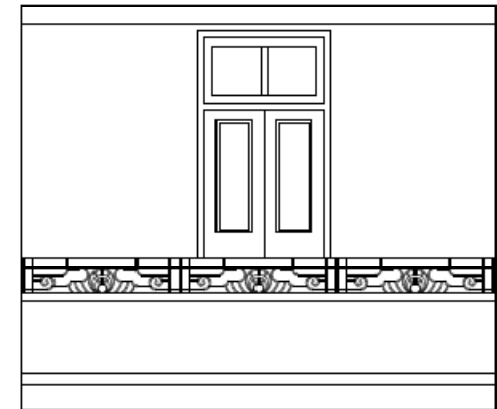
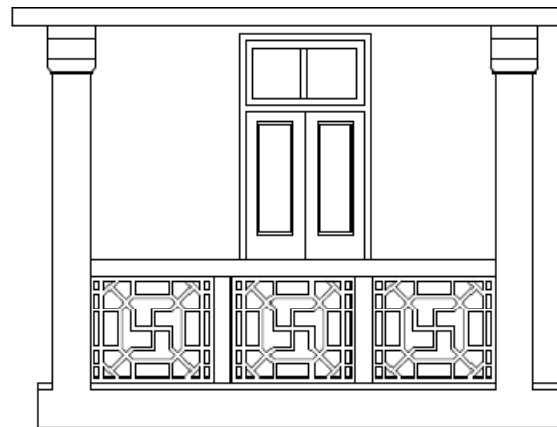
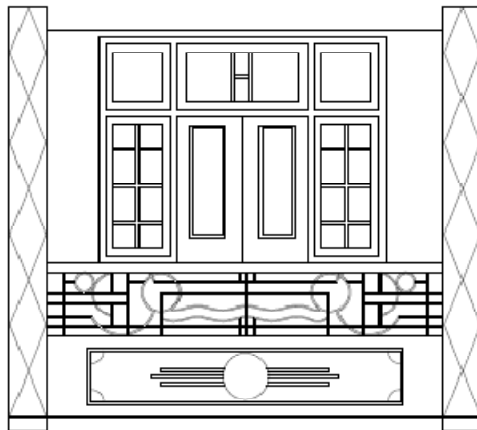
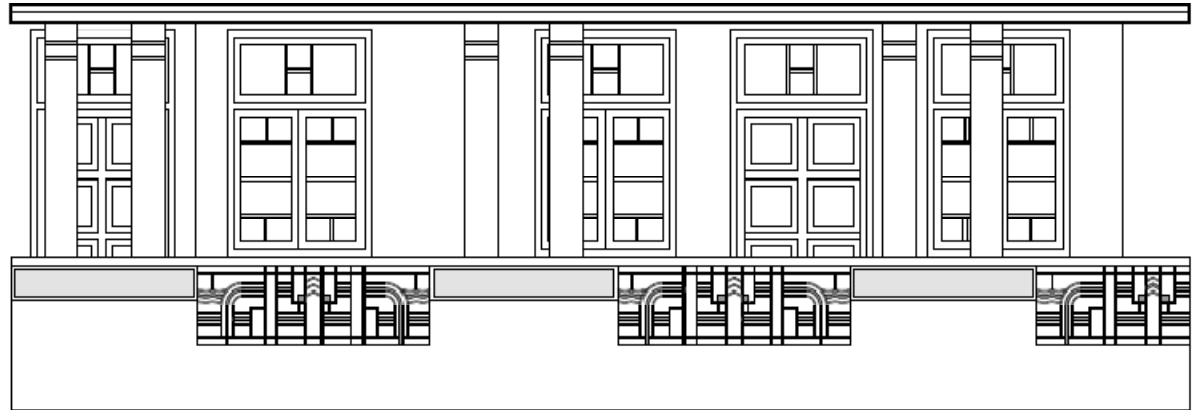
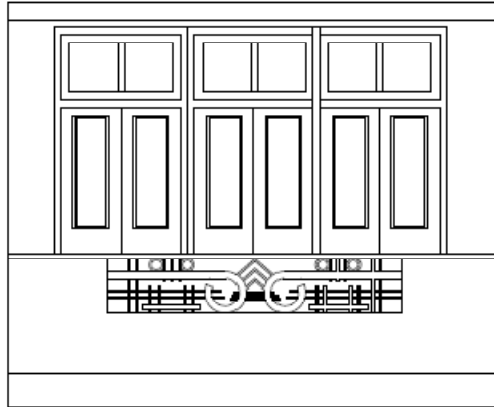
Note : Dimentionations are in meters

TYPES OF COMPOUND WALLS AND GATES

Balcony Railings



Balcony Railings



2. For external painting, only pastel shades associated with the language of Art Deco style shall be permitted.
3. Locations of lift shafts, lift machine rooms, staircase cabins, overhead water storage tanks and any other features above the terrace slab shall be as approved by the MHCC and shall be such that these features are in harmony with the 'Good' and 'Fair' character buildings in the precinct.

6.2.4 Incentives / Compensation for owners of buildings in Shivaji Park Heritage Precinct

The objective of these guidelines is to preserve the heritage value of the precinct. Hence it is proposed :

- a. To offer incentives to the owners to maintain their buildings and to keep them in a proper state of repair.
- b. To offer compensation to the owners to counter 'loss of opportunity' due to certain restrictions on development in the precinct

In all cases of maintenance /addition of floors / reconstruction, Appendix VII A (regarding grant of TDR as compensation to owners / lessees of buildings in heritage precinct) of the Draft Revised D.C. Regulation no. 67 prepared by the MHCC shall apply. (Refer Annexure)

ⁱ Lease Agreement . See Annexure1

ⁱⁱ Sandeep Hazareesingh, The Colonial City and the Challenge of Modernity: Urban hegemonies and Civic Contestations in Bombay City1900-1925, Delhi Orient Longman,2007

ⁱⁱⁱ Nikhil Rao, House, but No Garden : Apartment Living in Bombay's Suburb, 1898-1964, University of Minnesota Press, 2013 Figure 1.2

^{iv} Ibid

^v Ibid

7.ANNEXURES